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Clause 4.6 – Exceptions to Development Standards

Height of Buildings – Clause 4.3 Canterbury LEP 2012.

Property Description: 364 – 374 Canterbury Road, Canterbury

Development: Mixed Use Development

Introduction

This clause 4.6 variation supports amended plans (Revision E) with the variation to the building height being the lift overrun on the front building (Canterbury Road) and roof structure associated with the communal open space area, and the plans have increased the floor to floor height to 3m with the upper roof level exceeding 18m in height.

This clause 4.6 seeks variation to the 18m building height development standard contained in clause 4.3 – Height of Buildings contained in the Canterbury LEP 2012.

The proposed front building has a 2.8m - variation measured to the lift overrun and roof structure for the communal area and a 450mm variation measured to the roof of the front and rear buildings. The lift overrun and roof structure for the communal open space (front building) is setback from the edge of the building form and will not be visually dominate when viewed from the Canterbury Road, with the roof-top communal area contributing to residential amenity by providing communal open space receiving solar access and distant views/outlook.

The building presents a 6 storey form to Canterbury Road and Onslow Lane consistent with the 18m height control for development on Canterbury Road.

What are the objectives of Clause 4.6?

The objectives of clause 4.6 – Exceptions to development standards are:

- (a) to provide an appropriate degree of flexibility in applying certain development standards to particular development,*

(b) to achieve better outcomes for and from development by allowing flexibility in particular circumstances.

The proposed variation to the 18m height development standard is consistent with the objectives of clause 4.6 as follows:

- The portions of the building exceeding the 18m height control are to the lift overrun and roof structure for the communal space, and upper roof level to ensure the development achieves a suitable floor to floor height.

In my opinion the variations are an acceptable degree of flexibility to the height control and achieve an acceptable planning outcome with the provision of accessible rooftop communal space and good residential amenity.

What are the objectives of the development standard?

The objectives of the development standard are at clause 4.3(1) of the Canterbury LEP 2012 as follows:

- (a) to establish and maintain the desirable attributes and character of an area,*
- (b) to minimise overshadowing and ensure there is a desired level of solar access and public open space,*
- (c) to support building design that contributes positively to the streetscape and visual amenity of an area,*
- (d) to reinforce important road frontages in specific localities.*

The proposed building meets the objectives of the building height development standard based on the following assessment:

- The development proposal has a 4 storey form to Canterbury Road with the upper levels (5th and 6th storeys) setback ensuring the variation to the 18m height control will not present unreasonable building height or scale to Canterbury Road.
- The portion of the building exceeding the 18m height control including the lift overrun and communal roof top structure will not generate unreasonable additional overshadowing, noting the variation at the front – northern portion of the site is setback from the edge of the building. The rear portion of the building results in a minor variation to the 18m height control.
- The upper level of the building is setback from Canterbury Road presenting a well-articulated building contributing to development on Canterbury Road.

- The development proposal has been designed with a 3m setback to Canterbury Road and ground floor commercial space consistent with development on Canterbury Road.

Compliance with the development standard is unreasonable or unnecessary in this particular case?

Pursuant to clause 4.6(3)(a) of the LEP the variation to the 18m building height development standard is acceptable in the circumstances of the case and compliance with the development standard is considered unreasonable and unnecessary based on the following:

- The development proposal presents a 4 storey building form to Canterbury Road with the upper level and portion of the buildings and lift overrun exceeding the 18m height control being recessed from the level below.
- The variation to the 18m height control measured to the roof – upper level of the buildings is minor, and the lift overrun and structures associated with the communal roof terrace are centrally located ensuring the built form will be viewed as 6 storey development to Canterbury Road and Onslow Street and lane.
- The variation to the 18m height at the front and rear portions of the buildings is 450mm above the height control (excluding the lift overrun). The building presents a 4 storey form to Canterbury Road and the portion of the building exceeding 18m in height is not visually significant.
- The lift overrun and roof structure for the communal open space area exceeding the 18m height control are centrally located on each building and will not be visually dominant and do not contribute to unreasonable visual bulk and scale when viewed from the public domain or adjoining properties.
- The portion of the buildings and lift overrun exceeding the 18m height control will not result in unreasonable additional overshadowing, noting the minor variation to the built form is at the front and rear buildings, with the lift overrun and roof terrace structure centrally on the building to Canterbury Road.

Are there sufficient environmental planning grounds to justify contravening the development standard?

Pursuant to 4.6(3)(b) of the LEP the variation to the FSR development standard is acceptable on environmental planning grounds as follows:

- The variation to the height control resulting from the lift overrun and communal roof terrace structures ensures the development provides accessible communal open space that receives solar access and achieves distant views/outlook contributing the residential amenity of the development.
- The amended plans have a residential floor to floor height of 3m ensuring a minimum floor to ceiling height of 2.7m can be achieved meeting the SEPP 65 – RFDC and ensures an acceptable level of residential amenity is achieved in the development.
- The lift overrun and communal roof terrace structure are setback 12m from the front boundary and the variation to the upper roof level is minor ensuring the development presents a 6 storey form consistent with the planning controls for Canterbury Road.
- The shadow diagrams submitted with the development confirm the proposed variation to the height control will not result in unreasonable amenity impacts to 1 Onslow Street. This property retains 3 hours of solar access at mid-winter to the north facing kitchen and study windows, and to the private open space – rear yard.
- The minor variation to the building height does not present unreasonable bulk and scale with the building height being consistent with the planning controls for the subject site.

Is the proposed Development in the public interest?

Clause 4.6(4)(ii) of the LEP states:

Development consent must not be granted for development that contravenes a development standard unless:

(a) the consent authority is satisfied that:

(i) the applicant's written request has adequately addressed the matters required to be demonstrated by subclause (3), and

(ii) the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out, and

(b) the concurrence of the Secretary has been obtained.

The proposed variation to building height is in the public interest as follows:

- The development proposal provides additional housing within the catchment of public transport and services with the building height and form consistent with the Canterbury Road Masterplan.
- The building height is consistent with the planning controls for the subject site and ensures an acceptable form of development with good residential amenity is provided on this in-fill site.
- The portions of the building exceeding the 18m height control will not present unacceptable bulk and scale to the public domain or result in unreasonable impacts.

Conclusion

The development proposal has a variation to the 18m building height control contained in Clause 4.3 of the Canterbury LEP 2012; notwithstanding, the building has been designed to present a 4 storey form to Canterbury Road, with the upper level recessed 5m from the level below, consistent with the planning outcome for Canterbury Road.

The lift overrun and communal roof terrace structure are recessed from the edge of the upper level and will not be visually dominant viewed from the public domain or adjoining properties, and the lift on the front building ensures the communal area is accessible and contributes to residential amenity.

The variation to the building height standard does not attempt to affect the planning outcomes for the broader locality; rather the building design is consistent with the 6 storey height control reflecting the scale and form of development planned for Canterbury Road.

In my opinion the application to vary the building height development standard is well founded and as addressed the proposed height meets the objectives of the building height development standard and achieves an acceptable development outcome that is in the public interest. In accordance with the environmental planning grounds addressing in this clause 4.6 variation the building height can be supported.

Garry Chapman
Chapman Planning Pty Ltd

SUMMARY EXPERT OPINION
SEPP 65 AMENITY COMPLIANCE
SOLAR ACCESS
NATURAL VENTILATION

PROPOSED MIXED USE RESIDENTIAL DEVELOPMENT
(Amended for JRPP)
364-374 Canterbury Rd, Canterbury

6 September 2015

Signed,



Steve King

1.0 PRELIMINARIES

1.1 I provide this Summary Report as an expert opinion, relating to **solar access** and **natural ventilation** compliance with the relevant local controls for the proposed **mixed use residential flat building** at the above address. This Summary Report revises and updates my previous report of 20 March 2015.

1.2 The amendments to the proposal respond to the recommendations of the JRPP Record of Deferral dated 19 August 2015, being the **deletion of four dwellings, nominated by the JRPP apartments 82, 83, 99 and 100**. I note that the amended architectural drawings also show the **deletion of an additional apartment, resulting in a proposed new total of 95 apartments**.

1.3 The purpose of this Summary Report is to revise the analysis of solar access and cross ventilation compliance of the proposal.

1.4 My qualifications and experience are included at *2.0 Credentials* in my original report.

1.3 The documents on which I rely are Issue E of the Architectural drawings, issued to me digitally on 27 August 2015, with changes from previous Issue D clouded.

2.0 PREDICTED SOLAR ACCESS: METHODOLOGY

2.1 I confirm that the original analysis was conducted with the use of a 3D digital model in the *Trimble SketchUp* software package, imported from the CAD file prepared by the architects. The model includes block representations of the adjacent buildings, so that the quantification of solar access takes account of relevant actual overshadowing.

I examine the design by use of 'views from the sun', and record the detailed compliance of each apartment in a comprehensive detailed table.

STEVE KING

CONSULTANT

11 Clovelly Road Randwick NSW 2031 Australia

PHONE 0414385485



Figure 1: Geolocated model of JRPP scheme in SketchUp: view from the sun at 12 noon

2.2 The model was not updated for the current amendments. It is possible to conservatively interpolate the predicted solar access performance of amended apartments by inspection of the former model.

I include as Appendix A to this Summary Report the updated detailed compliance table. I note that the architects employ a sequential numbering for the apartment numbers. I have had to use some discretion in identifying the equivalents between the former apartment numbers and the new. Table 1 sets out the summary of solar access achieved.

Table 1: Summary of solar access compliance

Number of units	95	
Units which achieve 3 hours or more sunlight to Living and POS 9am – 3pm as defined in the RFDC	50	
Units which achieve 2 hours or more sunlight to Living and POS 9am – 3pm as defined in the RFDC appropriate for closely built up context	16	
Units which achieve 2 hours or more sunlight to Living and POS 8am – 4pm	1	
Total complying	67	70.5%

Table 3 in Appendix A sets out the details of solar access for each individual apartment.

3.0 NATURAL VENTILATION

3.1 The objectives of the RFDC with respect to natural ventilation for amenity can be satisfied by a variety of ventilation arrangements, but for simplicity, conventional cross ventilation is preferred. I characterise as cross ventilated for amenity:

- All corner and 'through' apartments with openings in two principal facades;
- Apartments with openings to local corner conditions which may be regarded as sufficiently similar in their likely ventilation performance to deeper 'through' apartments to be regarded as cross ventilated.
- Some apartments that are cross ventilated to suitably fully open portions of the common access galleries;
- Top floor apartments with ventilating skylights.

3.2 Table 2 summarises the compliance achieved for natural ventilation. In Appendix A, Table 3 I report in detail the cross ventilation status of each apartment.

Number of units	95	
Cross ventilated	58	61.1%

Table 2: Ventilation compliance

In Appendix A, Table 3 lists the individual apartments with their ventilation status.

4.0 CONCLUSIONS

4.1 Solar access

The proportion of dwellings which achieve projected solar access of minimum 2 hours between 9am and 3pm June is 66 units from a total of 95, being 69.5%.

I note that if I pay regard to the direct sun available before 9am and after 3pm another one apartment can be shown to obtain a minimum of two hours on June 21, giving an overall proportion of 67/95, being 70.5%. The RFDC *Rules of Thumb* nominate as a minimum 70%.

7.2 Natural ventilation

The proportion of apartments which comply with the RFDC *Rule of Thumb* for natural ventilation amenity achieved by **cross ventilation is 58 apartments out of a total 95, or 61.1%**. The proportion required by the RFDC *Rule of Thumb* is a minimum of 60%.

In my considered opinion, the proposed further amended development proposal therefore fully complies with the relevant controls for solar access and natural ventilation.

A.0 APPENDIX: DETAILED COMPLIANCE TABLE

Table 3: Solar access for individual dwellings

Old numbers	New Unit numbers	Notes	8	830	9	930	10	1030	11	1130	12	1230	13	1330	14	1430	15	1530	16	>3 hrs	>2hrs	>2hrs (8-16)	Cross vent
1																							YES
2			Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	YES			
3			Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	YES			
4			Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	YES			
5			Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	YES			
6			Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	YES			
7			Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	YES			
8			Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	YES	YES		YES
9																							YES
10																							
11			Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y				YES
12			Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y				YES
13			Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y				YES
14																							
15																							YES
16				Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y		YES		YES
17																							
18			B	B	B	b	B	B	B	B	B												YES
19				Y	Y	Y	Y	Y	Y	Y											YES		YES
20																					YES		YES
21																							
22																							
23																							YES
24			Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	YES			YES
25			Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	YES			
26			Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	YES			
27			Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	YES			
28			Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	YES			
29			Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	YES			
30			Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	YES			
31																					YES		YES
32																							YES
33			Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	B	Y					YES	YES
34			Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y						YES		YES

STEVE KING

CONSULTANT

11 Clovelly Road Randwick NSW 2031 Australia

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Old numbers	New Unit numbers	Notes																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																		
35			Y	8	830	9	Y	930	Y	10	Y	1030	Y	11	Y	1130	Y	12	Y	1230		13																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																														

Old numbers	New Unit numbers	Notes	8	830	9	930	10	1030	11	1130	12	1230	13	1330	14	1430	15	1530	16	>3 hrs	>2hrs	>2hrs [8-16]	Cross vent
76	76		Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	B		YES			
77	77											Y	Y	Y	Y	Y	Y	Y		YES	YES		YES
78	78												Y	Y	Y	Y	Y	Y			YES		YES
79	79			Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y		YES			
80	80						Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y			YES			YES
81	81							Y	Y	Y	Y	Y	Y	Y	Y	Y	Y			YES			YES
82		DELETED																					
83		DELETED																					
84	82		Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	YES			YES
85	83	Ventilated skylight	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	YES			YES
86	84	Ventilated skylight	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	YES			YES
87	85	Ventilated skylight	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	YES			YES
88	86				Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	YES			YES
89	87	Ventilated skylight							Y	Y	Y	Y	Y	Y	Y					YES			YES
90	88	Ventilated skylight							Y	Y	Y	Y	Y	Y	Y					YES			YES
91		DELETED																					
92	89		Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	YES			YES
93	90	Ventilated skylight	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	YES			YES
94	91					Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	YES			YES
95	92						Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	YES			YES
96	93	Ventilated skylight	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	YES			YES
97	94					Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	YES			YES
98	95	Fixed skylight	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	YES			YES
99		DELETED																					
100		DELETED																					
95																				50	16	1	58
																				52.6%	16.8%	1.1%	61.1%
																				69.5%		70.5%	

Chapman Planning Pty Ltd

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7 September 2015

General Manager
Canterbury City Council
PO Box 77
CAMPSIE NSW 2194

Attention: Rita Nakhle

Property: 364 – 374 Canterbury Road, Canterbury
DA Number: DA – 505/2014
Re: Amended Plans and Clause 4.6 Variation – Height of Buildings

Dear Rita,

I refer to the abovementioned development application for a mixed use development at 364 – 374 Canterbury Road, Canterbury and the Joint Regional Planning Panel – Sydney East (JRPP) held on 19 August 2015.

As you are aware the JRPP deferred the determination of the application and invited the submission of amended plans addressing the following:

- Redesign the 5th and 6th floor levels to achieve an 18m separation between the buildings,
- Comply with the building height plane measured from Onslow Lane,
- Reduce the lift overrun to the communal roof terrace on the front building (Canterbury Road) building to 2.4m in height, and
- Provide residential floor to floor height of at least 3m.

In addressing the above recommendations the amended plans have resulted in a reduction in the number of units to 95 with the following unit mix:

- 38 x 1 bedroom units,
- 49 x 2 bedroom units,
- 8 x 3 bedroom units.

To address the issues raised by the JRPP in addition to this letter the following is submitted:

- *Architectural plans numbered A100 – A105, A200 – A201, A300 – A302 Issue E dated 27 August 2015 prepared by Mackenzie Architects International,*
- *Solar Access and Natural Ventilation Report dated 6 September 2015 prepared by Steve King,*
- *Clause 4.6 variation – height of buildings prepared by Chapman Planning Pty Ltd.*

The following addresses the amended plans and issues raised in the minutes from the JRPP meeting.

Building Separation

Plans 104 and 105 Issue E prepared by Mackenzie Architects International shows the modifications to the 5th and 6th storey to achieve a minimum 18m separation between the residential units on the front and rear building. The modifications includes the deletion of units on the rear building and modification to the units on the front building to 1 bedroom units.

It is noted that the amended plans (Issue E) meet the solar access and cross ventilation residential amenity principles contained in SEPP 65 with 67 of 95 units – 70% receiving a minimum of 2 hours of solar access and 58 of 95 units - 61% being cross ventilated. The solar access and cross ventilation is addressed in the report prepared by Steve King.

Building Height Plane – Onslow Lane

Plans 105 Issue E prepared by Mackenzie Architects International show the modification at the 5th level (6th storey) at the south-east corner of the building to Onslow Lane resulting the deletion of a unit to achieve a greater setback to the Onslow Lane boundary. This ensures the building is within the building height plane control contained in Part 3.1.8 of the Canterbury DCP.

The building height plane and amended building is shown on Section A and B plan No. 200 prepared by Mackenzie Architects International.

Lift Overrun

The lift overrun has been reduced in height to 2.4m above the upper roof level and this is shown on Section A plan No. 200 prepared by Mackenzie Architects International.

Floor to Floor Height

The residential levels have been amended with a 3m floor to floor height.

In conclusion the amended plans have addressed the issues raised in the minutes issued by the JRPP with the reduction in the number of units to 95 achieving an 18m separation

between the buildings at the 5th and 6th storey, and the building is within the building height plane to Onslow Lane. Further, the amended plans include a lift overrun of 2.4m to the communal roof terrace and minimum residential floor to floor height of 3m. The variation to the 18m height control resulting from the lift overrun, roof structure for the communal open space, and the minor variation to the upper roof level is addressed in the attached clause 4.6 variation.

If you wish to discuss the issues addressed in this letter or the amended plans please contact Garry Chapman on 9560 7013.

Regards,

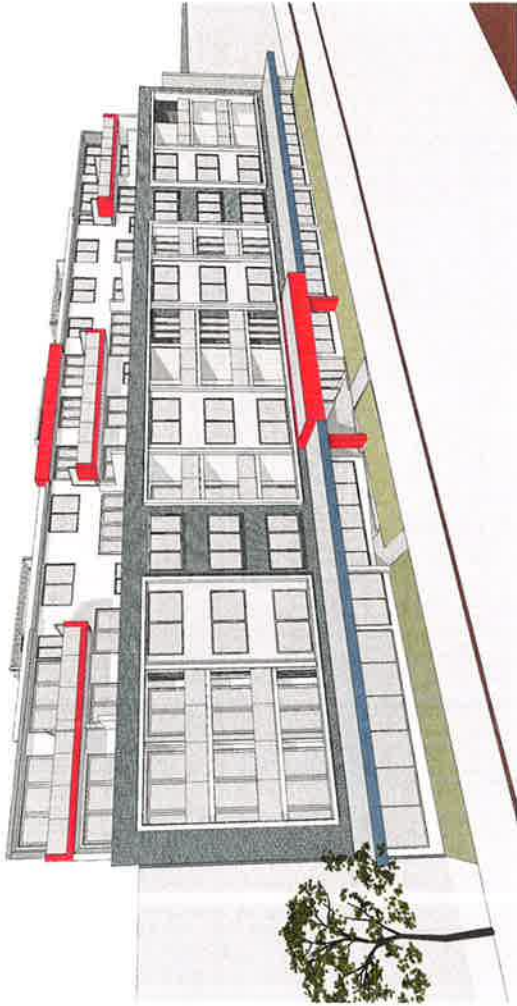


Garry Chapman
Chapman Planning Pty Ltd

Attached:

1. Clause 4.6 variation – Height of Buildings

MULTI RESIDENTIAL DEVELOPMENT



Perspective

[illegible]

Revised Thermal Specification-2015.09.04-Canterbury

Layout ID	Subst Name	Name	Scale
	COVER SHEET	Drawings	
	COVER SHEET	Perspective	
	COVER SHEET	Revised Thermal Specification-2015 09	
	COVER SHEET	Arch. Schedule	
A 100	Plans	Basement G2	1:500
	Plans	Basement G1	1:500
A 101	Plans	Basement G1	1:500
A 102	Plans	Basement G1	1:500
A 103	Plans	Ground Floor	1:500
A 104	Plans	First Floor	1:250
	Plans	Second Floor	1:250
A 105	Plans	Fourth Floor	1:500
	Plans	Third Floor	1:500
A 106	Plans	Fifth Floor	1:500
	Plans	Road Plan	1:200
A 100	Sections	Section A	1:500
	Sections	Section B	1:500
A 101	Sections	Section C	1:500
	Sections	Section D	1:200
A 102	Sections	Section E	1:500
A 100	Elevations	BUILDING A SOUTH ELEVATION	1:500
	Elevations	BUILDING A NORTH ELEVATION	1:500
	Elevations	BUILDING A SOUTH ELEVATION	1:500
	Elevations	External Facades Key	1:500
A 101	Elevations	BUILDING A SOUTH ELEVATION	1:500
	Elevations	BUILDING A NORTH ELEVATION	1:500
A 102	Elevations	WEST ELEVATION	1:500
	Elevations	EAST ELEVATION	1:500
	Elevations	WEST ELEVATION	1:200
A 100	Additional Information	Schedule of Finishes	
A 101	Additional Information	Site Analysis	1:200
	Additional Information	Site Images	
A 102	Additional Information	First Floor	1:500
	Additional Information	First Floor	1:250
	Additional Information	Fourth Floor	1:250
	Additional Information	Second Floor	1:250
	Additional Information	Third Floor	1:250
A 103	Additional Information	DEMOLITION SCHEDULE	

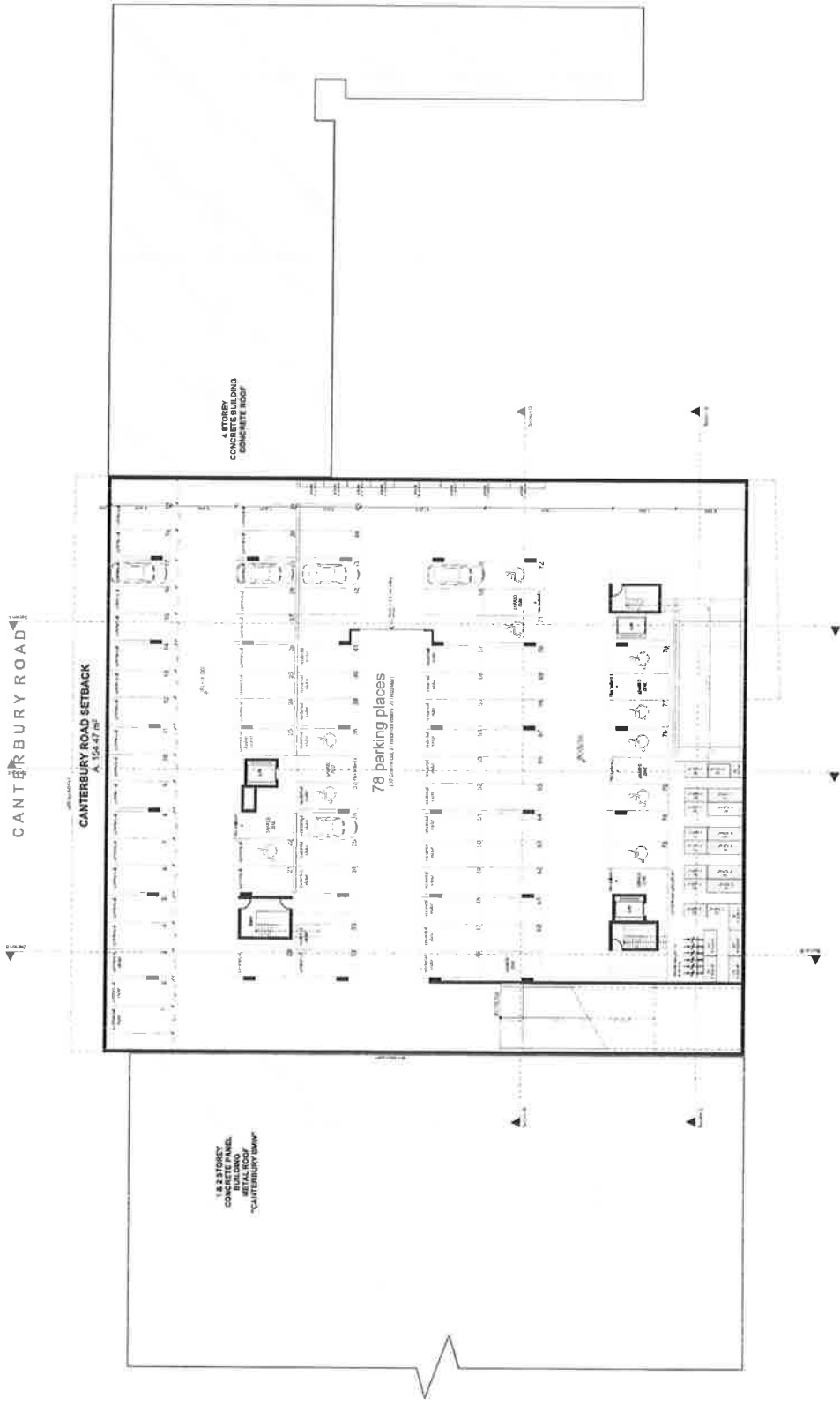
Drawing List

DATE	TIME	LOCATION	TYPE OF INCIDENT	DESCRIPTION OF INCIDENT	CAUSE OF INCIDENT	PREVENTIVE MEASURES	STATUS
10/10/2018	14:30	STATION 1	TRUCK ACCIDENT	A truck carrying a load of construction materials overturned on the highway.	Overloading and poor road conditions.	Load secured properly and road repaired.	Completed
10/10/2018	15:00	STATION 2	TRUCK ACCIDENT	A truck carrying a load of construction materials overturned on the highway.	Overloading and poor road conditions.	Load secured properly and road repaired.	Completed
10/10/2018	15:30	STATION 3	TRUCK ACCIDENT	A truck carrying a load of construction materials overturned on the highway.	Overloading and poor road conditions.	Load secured properly and road repaired.	Completed
10/10/2018	16:00	STATION 4	TRUCK ACCIDENT	A truck carrying a load of construction materials overturned on the highway.	Overloading and poor road conditions.	Load secured properly and road repaired.	Completed
10/10/2018	16:30	STATION 5	TRUCK ACCIDENT	A truck carrying a load of construction materials overturned on the highway.	Overloading and poor road conditions.	Load secured properly and road repaired.	Completed
10/10/2018	17:00	STATION 6	TRUCK ACCIDENT	A truck carrying a load of construction materials overturned on the highway.	Overloading and poor road conditions.	Load secured properly and road repaired.	Completed
10/10/2018	17:30	STATION 7	TRUCK ACCIDENT	A truck carrying a load of construction materials overturned on the highway.	Overloading and poor road conditions.	Load secured properly and road repaired.	Completed
10/10/2018	18:00	STATION 8	TRUCK ACCIDENT	A truck carrying a load of construction materials overturned on the highway.	Overloading and poor road conditions.	Load secured properly and road repaired.	Completed
10/10/2018	18:30	STATION 9	TRUCK ACCIDENT	A truck carrying a load of construction materials overturned on the highway.	Overloading and poor road conditions.	Load secured properly and road repaired.	Completed
10/10/2018	19:00	STATION 10	TRUCK ACCIDENT	A truck carrying a load of construction materials overturned on the highway.	Overloading and poor road conditions.	Load secured properly and road repaired.	Completed

[illegible]

Units Schedule

[illegible]



Basement 01

Energy Rating	
1	Very Low
2	Low
3	Medium
4	High
5	Very High
6	Excellent
7	Superior
8	Outstanding
9	Exceptional
10	Perfect

DRAWING	
Plans - Basement 01	SCALE
DRAWING NO. A 101	ISSUE C

PROJECT	
364-374 Canterbury Road, CANTERBURY NSW 2194	

CLIENT	
RESICO	

DESIGNER	
WACKENZIE ARCHITECTS	

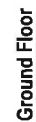
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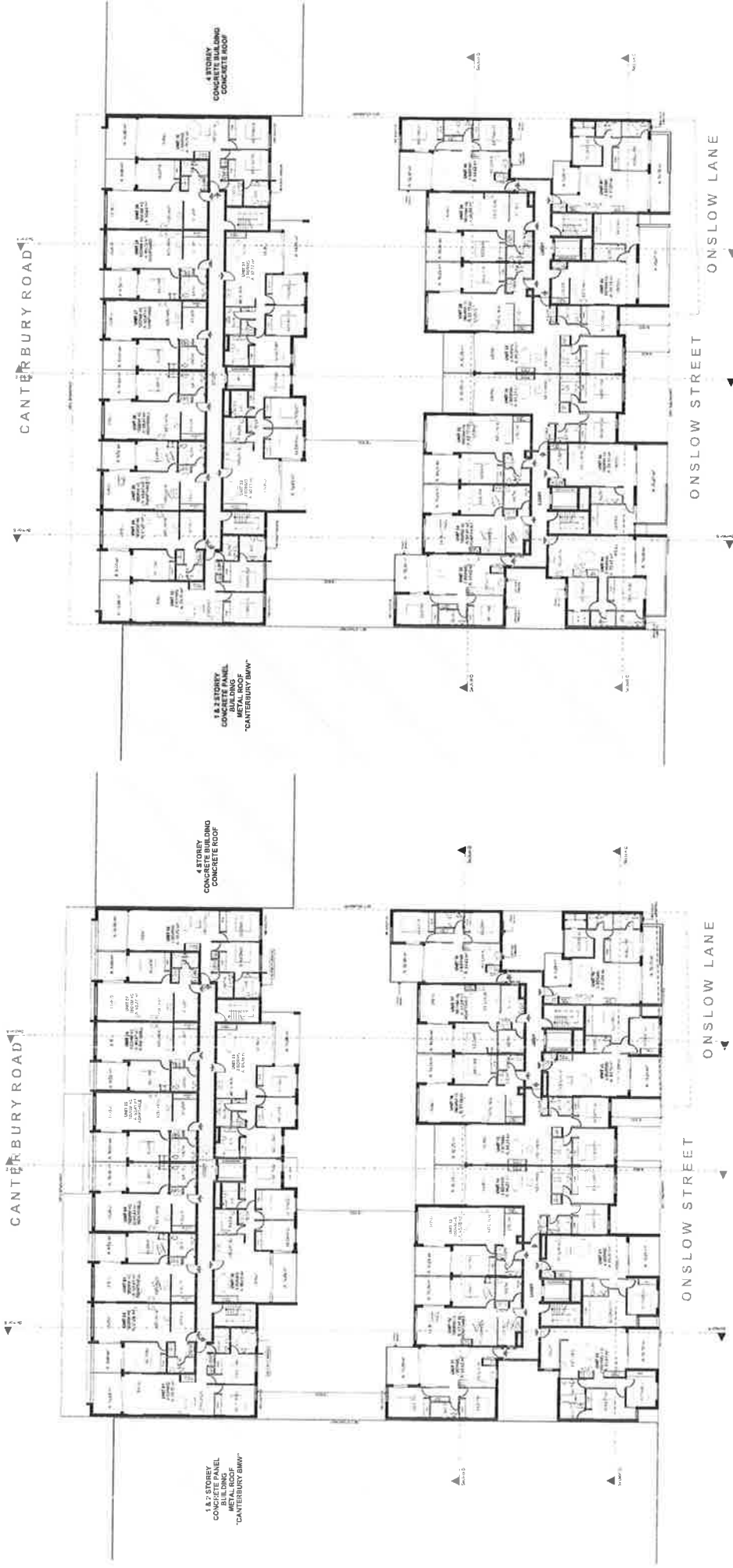
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LEGEND	
WACKENZIE ARCHITECTS	

WACKENZIE ARCHITECTS	
40 THE FORSTER	

M A I	
WACKENZIE ARCHITECTS	





Second Floor

First Floor

MACKENZIE ARCHITECTS

15, 2 STOREY CONCRETE PANEL BUILDING WITH METAL ROOF "CANTERBURY BMW"

15, 2 STOREY CONCRETE PANEL BUILDING WITH METAL ROOF "CANTERBURY BMW"

4 STOREY CONCRETE PANEL BUILDING WITH METAL ROOF "CANTERBURY BMW"

15, 2 STOREY CONCRETE PANEL BUILDING WITH METAL ROOF "CANTERBURY BMW"

Energy Rating

Energy Rating: 1.0

Energy Rating: 1.0

Energy Rating: 1.0

Energy Rating: 1.0

Energy Rating: 1.0

PROJECT

364-374 Canterbury Road, CANTERBURY NSW 2194

CLIENT

RESICO

DATE

14/11

PROJECT NO.

14/11

STATUS

14/11

DESIGN

14/11

CONSTRUCTION

14/11

REVISIONS

14/11

LEGEND

15, 2 STOREY CONCRETE PANEL BUILDING WITH METAL ROOF "CANTERBURY BMW"

15, 2 STOREY CONCRETE PANEL BUILDING WITH METAL ROOF "CANTERBURY BMW"

4 STOREY CONCRETE PANEL BUILDING WITH METAL ROOF "CANTERBURY BMW"

15, 2 STOREY CONCRETE PANEL BUILDING WITH METAL ROOF "CANTERBURY BMW"

PROJECT NO.

14/11

STATUS

14/11

DESIGN

14/11

CONSTRUCTION

14/11

REVISIONS

14/11

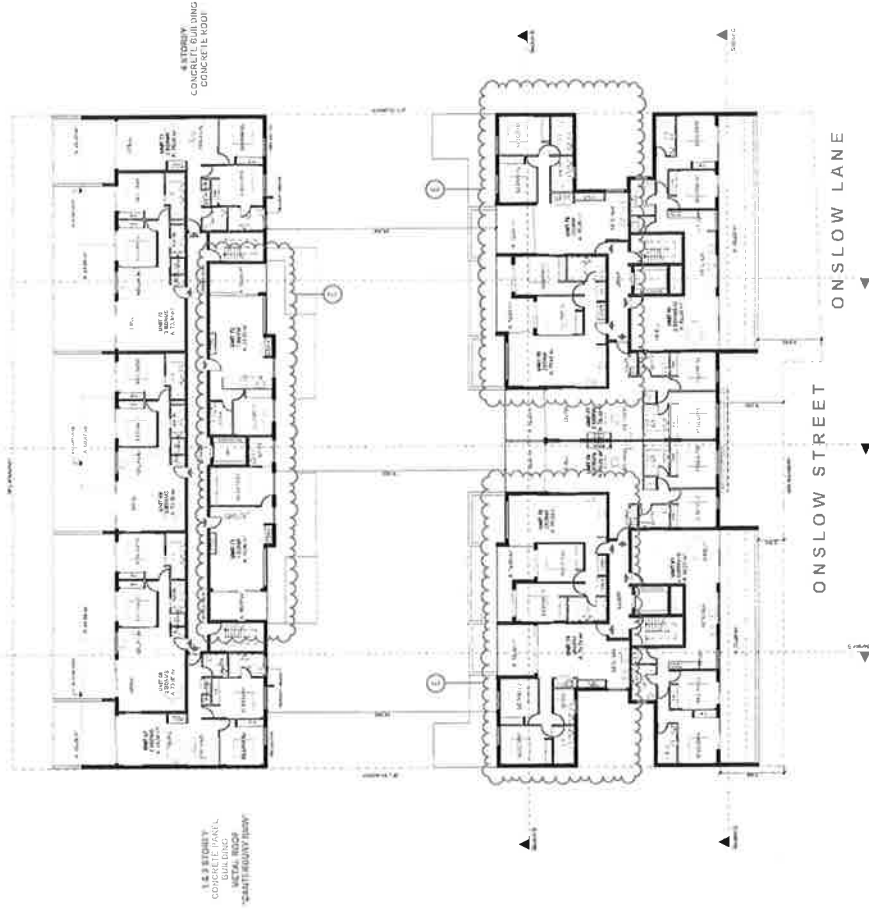
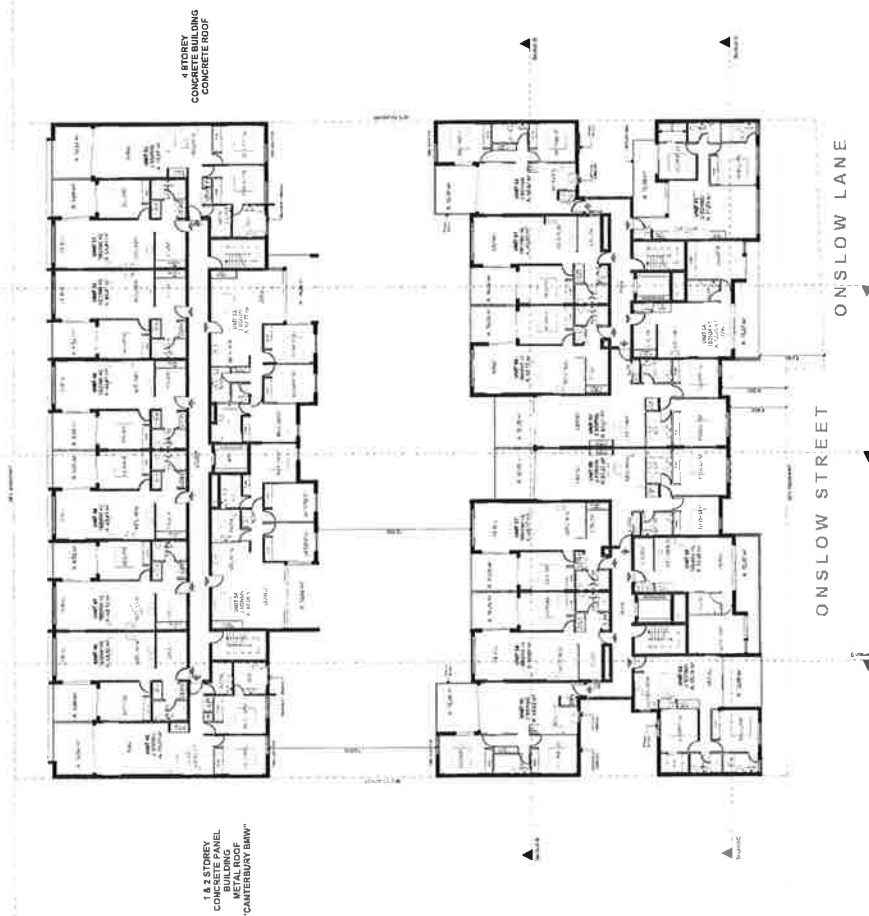
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15, 2 STOREY CONCRETE PANEL BUILDING WITH METAL ROOF "CANTERBURY BMW"

15, 2 STOREY CONCRETE PANEL BUILDING WITH METAL ROOF "CANTERBURY BMW"

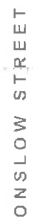
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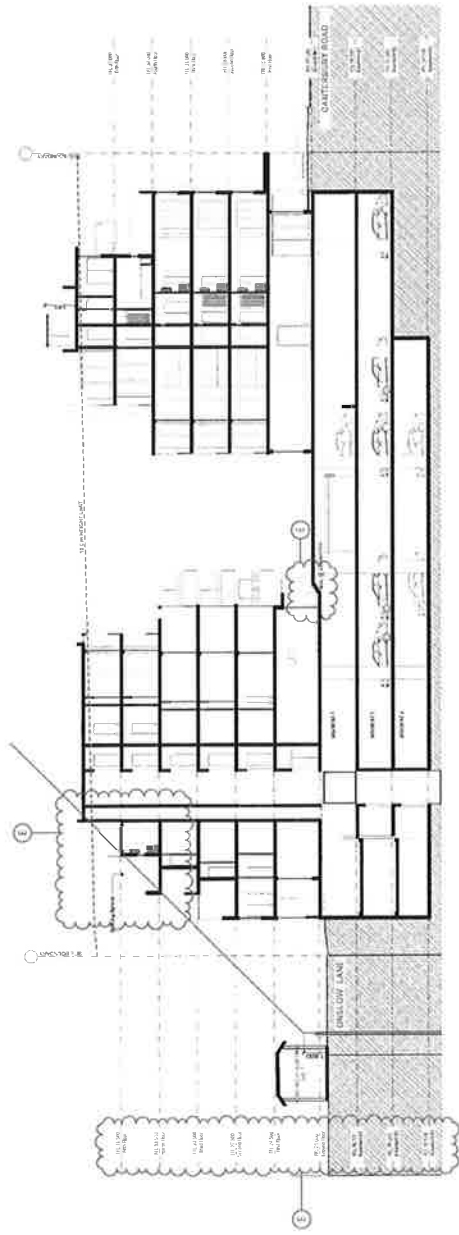
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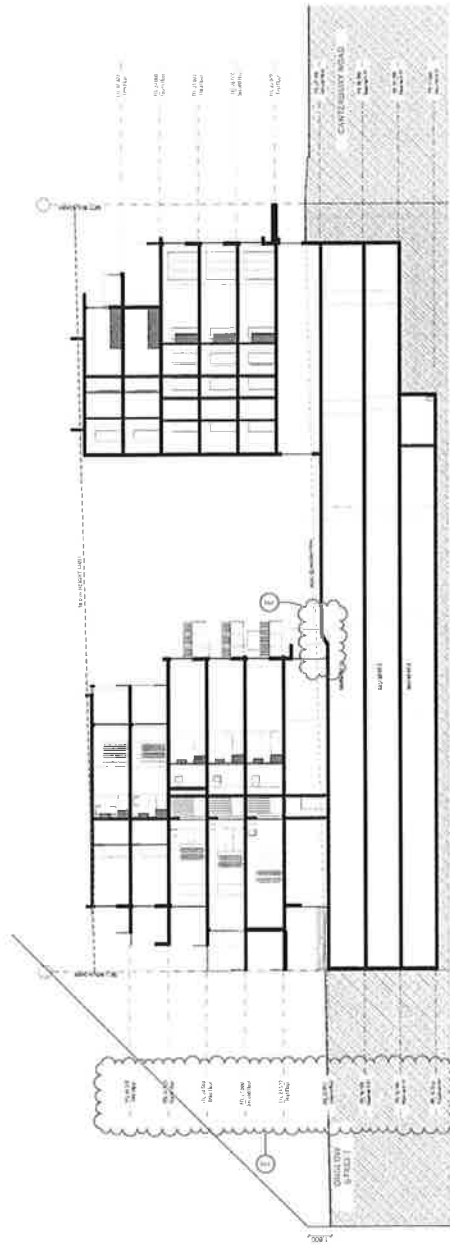
Third Floor

Fourth Floor

[illegible][illegible]



Section A



Section B

Energy Rating

Energy Rating: ☐ A ☐ B ☐ C ☐ D ☐ E ☐ F ☐ G ☐ H ☐ I ☐ J ☐ K ☐ L ☐ M ☐ N ☐ O ☐ P ☐ Q ☐ R ☐ S ☐ T ☐ U ☐ V ☐ W ☐ X ☐ Y ☐ Z

Energy Rating: ☐ A ☐ B ☐ C ☐ D ☐ E ☐ F ☐ G ☐ H ☐ I ☐ J ☐ K ☐ L ☐ M ☐ N ☐ O ☐ P ☐ Q ☐ R ☐ S ☐ T ☐ U ☐ V ☐ W ☐ X ☐ Y ☐ Z

SCALE
 DRAINING NO.
 RESULT
A 200 E
 Copyright Macmillan Australia International. All rights reserved.

PRODUCT
06-06-79 000020 38146 000000000000
**364-374 Canterbury Road,
CANTERBURY NSW 2194,**

RESICO

PN	DATE
A.5	2/10/2014
GM	14/02/2015
B.2	30/03/2015
B.3	31/05/2015

PROJECT NO	AMENDMENTS										
14/11	<table border="1"> <thead> <tr> <th>REV</th> <th>REVISION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>OK</td> </tr> <tr> <td>2</td> <td>CHANGES</td> </tr> <tr> <td>3</td> <td>1st PASS REV</td> </tr> <tr> <td>4</td> <td>2nd PASS REV</td> </tr> </tbody> </table>	REV	REVISION	1	OK	2	CHANGES	3	1st PASS REV	4	2nd PASS REV
REV	REVISION										
1	OK										
2	CHANGES										
3	1st PASS REV										
4	2nd PASS REV										

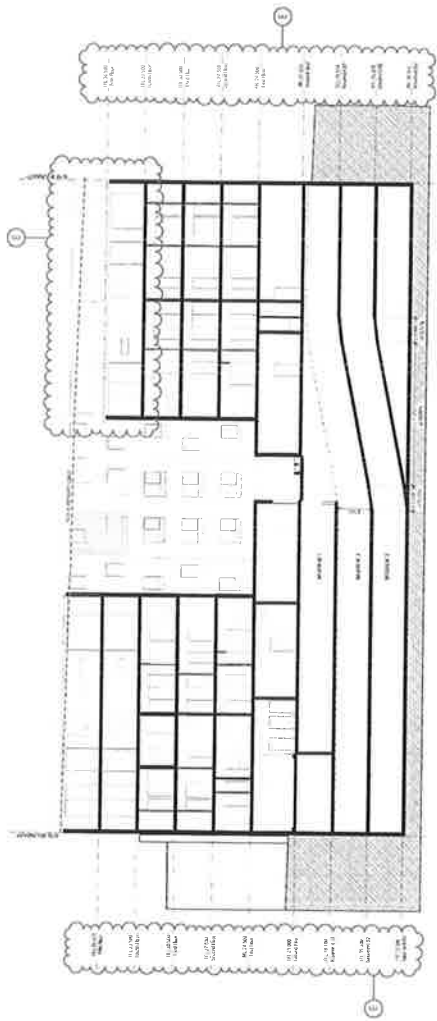
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VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK

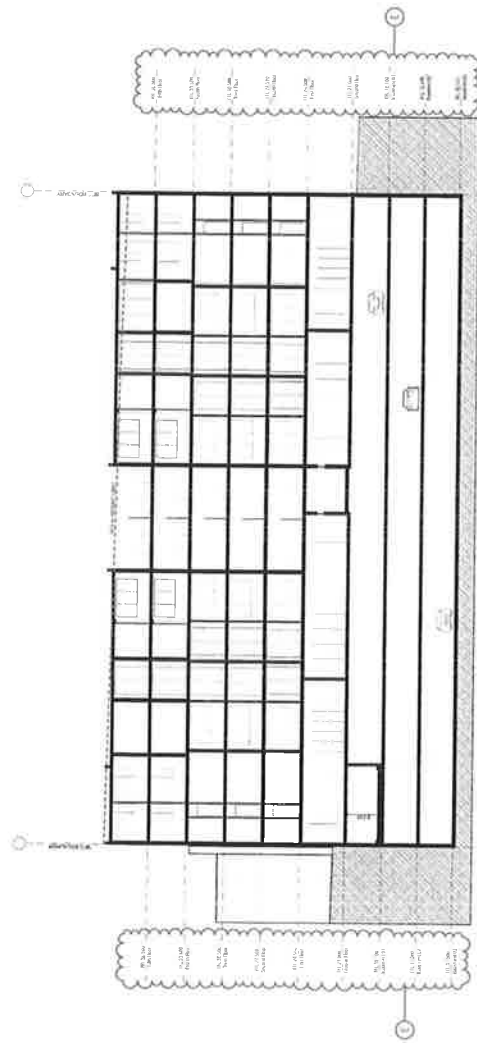
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33 THE POSTERN
Cockfield, MIDDLESBROUGH
Phone 0121 867 844
Fax 0121 867 8777
E-mail enquiries@mackenzie.co.uk
Web www.mackenzie.co.uk

M A I



Section C



Section D

Energy Rating
 1. 1 star
 2. 2 stars
 3. 3 stars
 4. 4 stars
 5. 5 stars
 6. 6 stars
 7. 7 stars
 8. 8 stars
 9. 9 stars
 10. 10 stars

DRAWING
 Sections • Sections 2
 SCALE
 DRAWING NO
 A 201
 ISSUE
 E

PROJECT
 384-374 Canterbury Road,
 CANTERBURY NSW 2184

RESICO

DATE
 14/11

PROJECT NO
 14/11

LEGEND
 1. 1 star
 2. 2 stars
 3. 3 stars
 4. 4 stars
 5. 5 stars
 6. 6 stars
 7. 7 stars
 8. 8 stars
 9. 9 stars
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LEGEND
 1. 1 star
 2. 2 stars
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LEGEND
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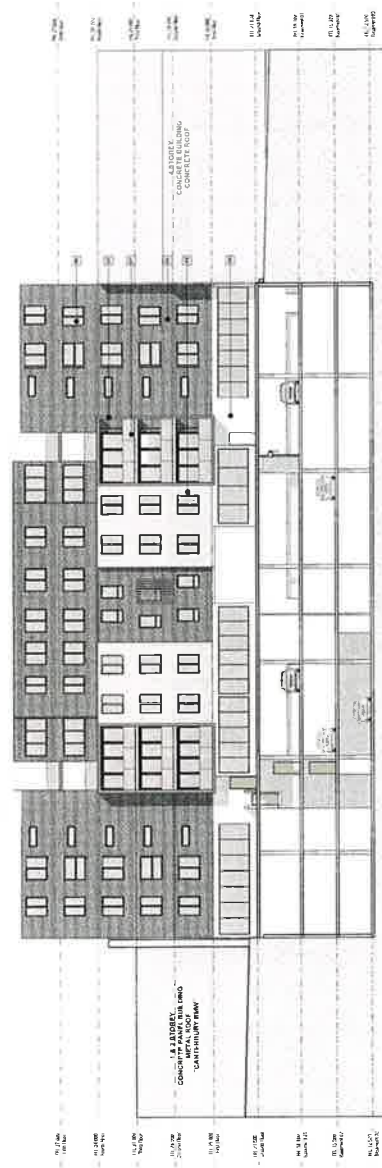
LEGEND
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 2. 2 stars
 3. 3 stars
 4. 4 stars
 5. 5 stars
 6. 6 stars
 7. 7 stars
 8. 8 stars
 9. 9 stars
 10. 10 stars

EXTERNAL FINISHES KEY

- 01. ALUCOBOND
- 02. RENDER & PAINT 01-
- 03. RENDER & PAINT 02-
- 04. RENDER & PAINT 03-
- 05. BRICKWORK
- 06. ALUM. FRAMED WINDOWS & SLIDING DOORS
- 07. TONGUE-AND-GROOVE CLADDING
- 08. ALUM. VERTICAL PRIVACY SCREEN



BUILDING-A NORTH ELEVATION

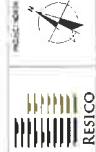


BUILDING-A SOUTH ELEVATION



Energy Rating
4.5
Star Rating

PROJECT
364-374 Canterbury Road,
CANTERBURY NSW 2194,



SCALE
A 300

ISSUE
C

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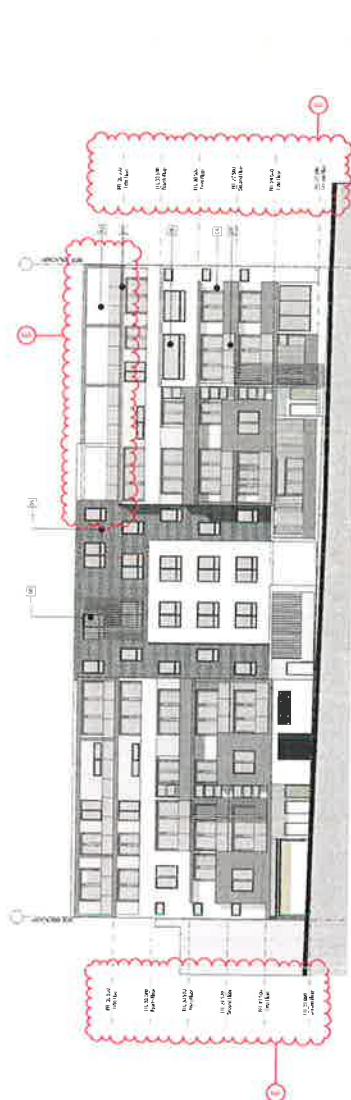
BY
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BY
DATE

- 06 ALUM FRAMED WINDOWS & SLIDING DOORS
07 TOUGHENED GLASS BALUSTRADE
08 ALUM VERTICAL PRIVACY SCREEN



BUILDING-B SOUTH ELEVATION



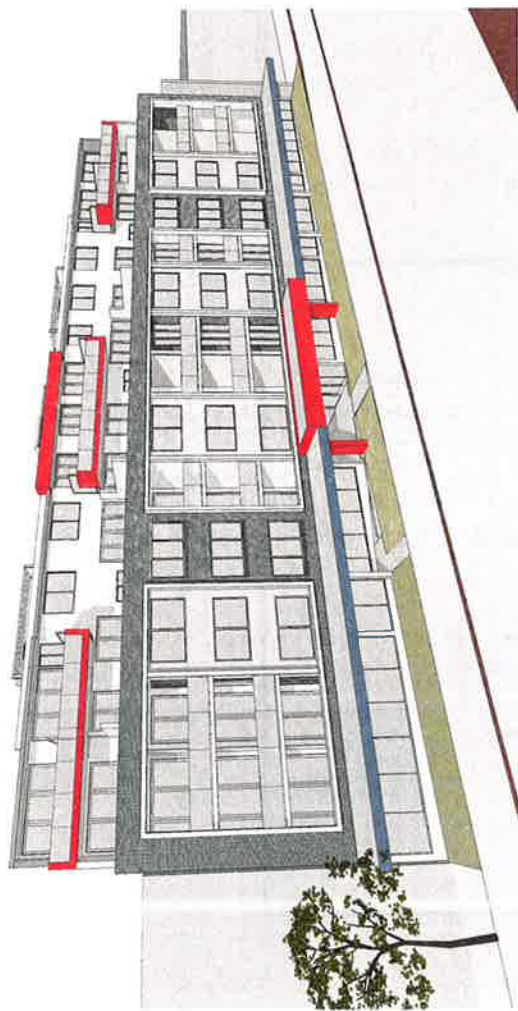
BUILDING-B NORTH ELEVATION

[illegible]

01 ALUMINUM
02 REMOVER & PAINT D1-
03 REMOVER & PAINT D2-
04 REMOVER & PAINT C3
05 BRICKWORK
06 ALUMINUM FRAMED WINDOWS & SLIDING DOORS
07 TOUCHED GLASS BALLUSTRADE
ALUM. VERTICAL PRIVACY SCREEN



**MULTI RESIDENTIAL DEVELOPMENT
364-374 CANTERBURY ROAD,
CANTERBURY, NSW**



Perspective

[illegible]

Revised Thermal Specification-2015.09.04-Canterbury

Layout ID	Subject Name	Name	Scale
A 100	COVER SHEET	Topical Log	1:200
	COVER SHEET	Revised Normal Specification-2015.09	
	COVER SHEET	Unit Schedule	
A 101	Floor Plans	Basement 02	1:200
	Floor Plans	Basement 03	
	Floor Plans	Basement 01	
A 102	Floor Plans	Ground Floor	1:200
	Floor Plans	First Floor	
	Floor Plans	Second Floor	
A 104	Floor Plans	Fourth Floor	1:200
	Floor Plans	Third Floor	
	Floor Plans	Roof Plan	
A 200	Sections	Section A	1:200
	Sections	Section B	
	Sections	Section D	
A 201	Sections	Section E	1:200
	Sections	Section F	
	Sections	Section G	
A 202	Sections	Section H	1:200
	Sections	Section I	
	Sections	Section J	
A 300	Elevations	BUILDING NORTH ELEVATION	1:200
	Elevations	BUILDING SOUTH ELEVATION	
	Elevations	External Finishes Key	
A 301	Elevations	BUILDING WEST ELEVATION	1:200
	Elevations	BUILDING SOUTH ELEVATION	
	Elevations	External Finishes Key	
A 302	Elevations	EAST ELEVATION	1:200
	Elevations	WEST ELEVATION	
	Elevations	External Finishes Key	
A 400	Additional Information	Schedule of Finishes	1:200
	Additional Information	Structural Details	
	Additional Information	Site View	
A 401	Additional Information	Roof Plan	1:200
	Additional Information	Site ANALYSIS	
	Additional Information	SITE IMAGES	
A 402	Additional Information	First Floor	1:200
	Additional Information	First Floor	
	Additional Information	Second Floor	
A 403	Additional Information	Second Floor	1:200
	Additional Information	Third Floor	
	Additional Information	Third Floor	
A 403	Additional Information	REVISIONS	1:200
	Additional Information	REVISIONS	
	Additional Information	REVISIONS	

Drawing List

SANDY CANTERBURY E-04C CANTERBURY - MIXED USE DEVELOPMENT			
UNIT	UNIT TYPE	UNIT AREA	UNIT PRICE
1	1-BEDROOM	1,100	1,100
2	2-BEDROOM	1,200	1,200
3	3-BEDROOM	1,300	1,300
4	4-BEDROOM	1,400	1,400
5	5-BEDROOM	1,500	1,500
6	6-BEDROOM	1,600	1,600
7	7-BEDROOM	1,700	1,700
8	8-BEDROOM	1,800	1,800
9	9-BEDROOM	1,900	1,900
10	10-BEDROOM	2,000	2,000
11	11-BEDROOM	2,100	2,100
12	12-BEDROOM	2,200	2,200
13	13-BEDROOM	2,300	2,300
14	14-BEDROOM	2,400	2,400
15	15-BEDROOM	2,500	2,500
16	16-BEDROOM	2,600	2,600
17	17-BEDROOM	2,700	2,700
18	18-BEDROOM	2,800	2,800
19	19-BEDROOM	2,900	2,900
20	20-BEDROOM	3,000	3,000
21	21-BEDROOM	3,100	3,100
22	22-BEDROOM	3,200	3,200
23	23-BEDROOM	3,300	3,300
24	24-BEDROOM	3,400	3,400
25	25-BEDROOM	3,500	3,500
26	26-BEDROOM	3,600	3,600
27	27-BEDROOM	3,700	3,700
28	28-BEDROOM	3,800	3,800
29	29-BEDROOM	3,900	3,900
30	30-BEDROOM	4,000	4,000
31	31-BEDROOM	4,100	4,100
32	32-BEDROOM	4,200	4,200
33	33-BEDROOM	4,300	4,300
34	34-BEDROOM	4,400	4,400
35	35-BEDROOM	4,500	4,500
36	36-BEDROOM	4,600	4,600
37	37-BEDROOM	4,700	4,700
38	38-BEDROOM	4,800	4,800
39	39-BEDROOM	4,900	4,900
40	40-BEDROOM	5,000	5,000
41	41-BEDROOM	5,100	5,100
42	42-BEDROOM	5,200	5,200
43	43-BEDROOM	5,300	5,300
44	44-BEDROOM	5,400	5,400
45	45-BEDROOM	5,500	5,500
46	46-BEDROOM	5,600	5,600
47	47-BEDROOM	5,700	5,700
48	48-BEDROOM	5,800	5,800
49	49-BEDROOM	5,900	5,900
50	50-BEDROOM	6,000	6,000
51	51-BEDROOM	6,100	6,100
52	52-BEDROOM	6,200	6,200
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56	56-BEDROOM	6,600	6,600
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62	62-BEDROOM	7,200	7,200
63	63-BEDROOM	7,300	7,300
64	64-BEDROOM	7,400	7,400
65	65-BEDROOM	7,500	7,500
66	66-BEDROOM	7,600	7,600
67	67-BEDROOM	7,700	7,700
68	68-BEDROOM	7,800	7,800
69	69-BEDROOM	7,900	7,900
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71	71-BEDROOM	8,100	8,100
72	72-BEDROOM	8,200	8,200
73	73-BEDROOM	8,300	8,300
74	74-BEDROOM	8,400	8,400
75	75-BEDROOM	8,500	8,500
76	76-BEDROOM	8,600	8,600
77	77-BEDROOM	8,700	8,700
78	78-BEDROOM	8,800	8,800
79	79-BEDROOM	8,900	8,900
80	80-BEDROOM	9,000	9,000
81	81-BEDROOM	9,100	9,100
82	82-BEDROOM	9,200	9,200
83	83-BEDROOM	9,300	9,300
84	84-BEDROOM	9,400	9,400



Units Schedule

[illegible]

[illegible][illegible]

CANTERBURY ROAD

CANTERBURY ROAD



7 & 8 STOREY
CONCRETE PANEL
BUILDING
METAL ROOF
"CANTERBURY BAY"



4 STOREY
CONCRETE BUILDING
CONCRETE PANEL
ROOF
"CANTERBURY BAY"



7 & 8 STOREY
CONCRETE PANEL
BUILDING
METAL ROOF
"CANTERBURY BAY"



4 STOREY
CONCRETE BUILDING
CONCRETE PANEL
ROOF
"CANTERBURY BAY"

ONSLOW STREET

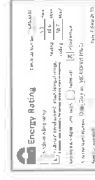
ONSLOW LANE

ONSLOW STREET

ONSLOW LANE

First Floor

Second Floor



MACKENZIE ARCHITECTS
10 THE POSTERN
PO BOX 207 800
MELBOURNE VIC 3000
Phone: 03 9611 1071
Fax: 03 9611 1072
www.mackenziearchitects.com.au

LEGEND
VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK
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STATUS
DATE: 14/11/11
DRAWN BY: [Signature]
CHECKED BY: [Signature]
IN CHARGE: [Signature]

PROJECT NO.
14/11

APPENDICES
APPENDIX A: [List of Appendices]

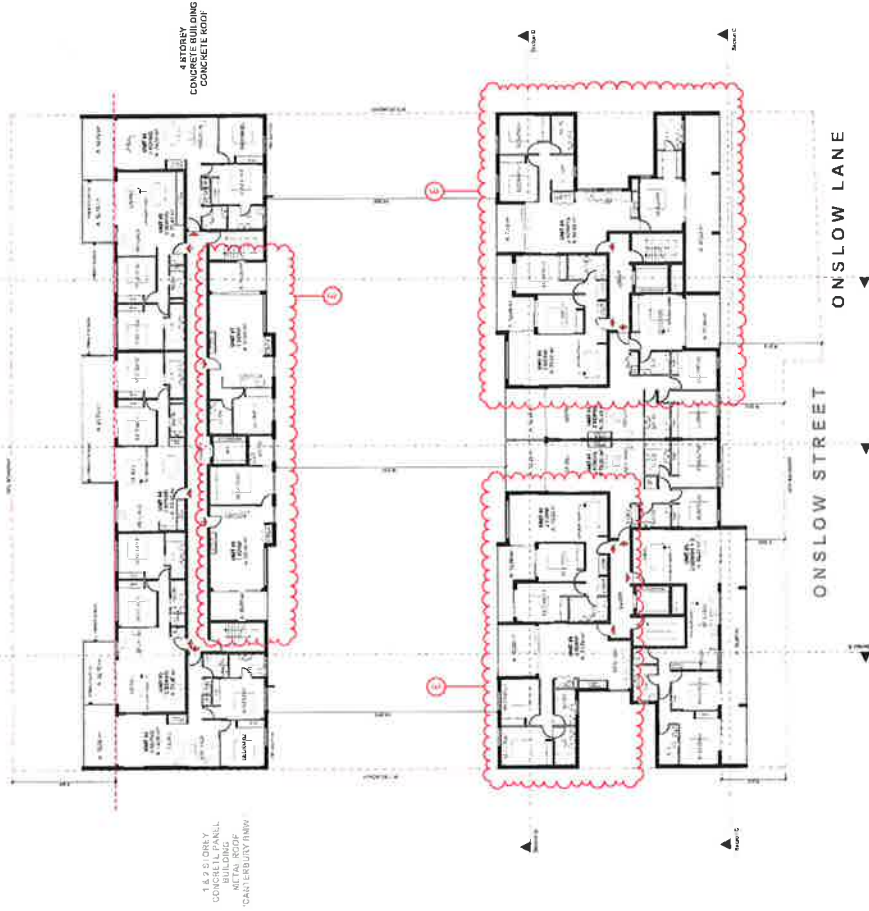
CLIENT
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PROJECT
364-374 Canterbury Road,
CANTERBURY NSW 2194

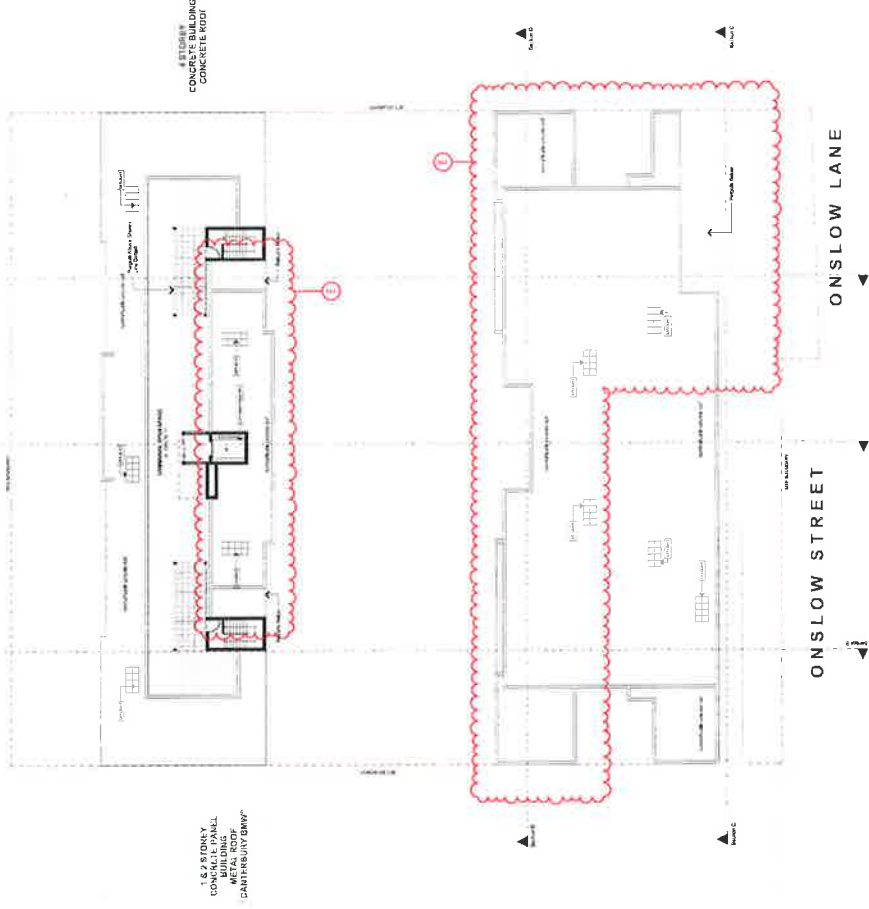
DRAWING
Plans - First & Second
SCALE
A 103
C

CANTERBURY ROAD

CANTERBURY ROAD



Fifth Floor



Roof Plan



Drawings
Plans - Fifth & Roof
SCALE
DRAWING NO. A 105
SHEET E

PROJECT
364-374 Canterbury Road,
CANTERBURY NSW 2194



REV	DATE	BY	CHKD	APPD
1	14/11	...	...	...

AMENDMENTS
NO. REVISION
1. 14/11

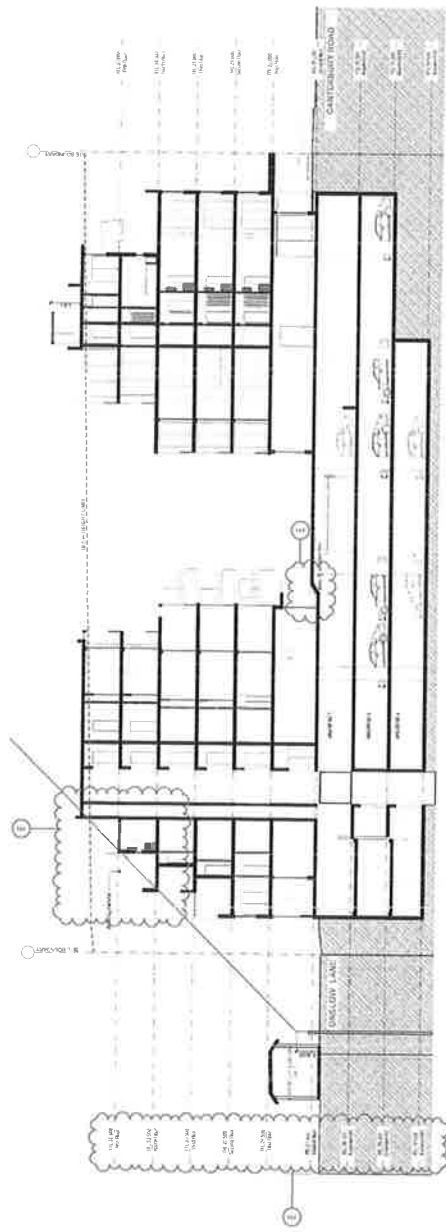
PROJECT NO. 14/11

STATUS	DATE	BY	CHKD	APPD
...	...	...	...	...

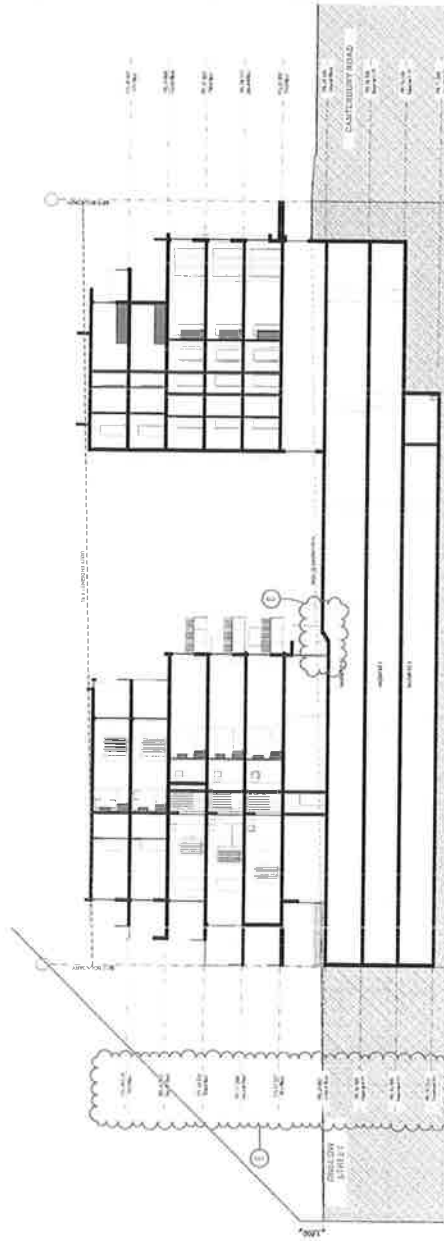
VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK
CONTRACT NO. 14/11
DATE 14/11/2011

MACKENZIE ARCHITECTS
10/11/11
10/11/11
10/11/11

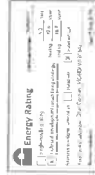




Section A



Section B



Energy Rating
4.5
1
2
3
4
5
6

PROJECT
364-374 Canterbury Road
CANTERBURY NSW 2194



RESICO

DATE
14/11

PROJECT NO.
14/11

DATE
14/11

DATE
14/11

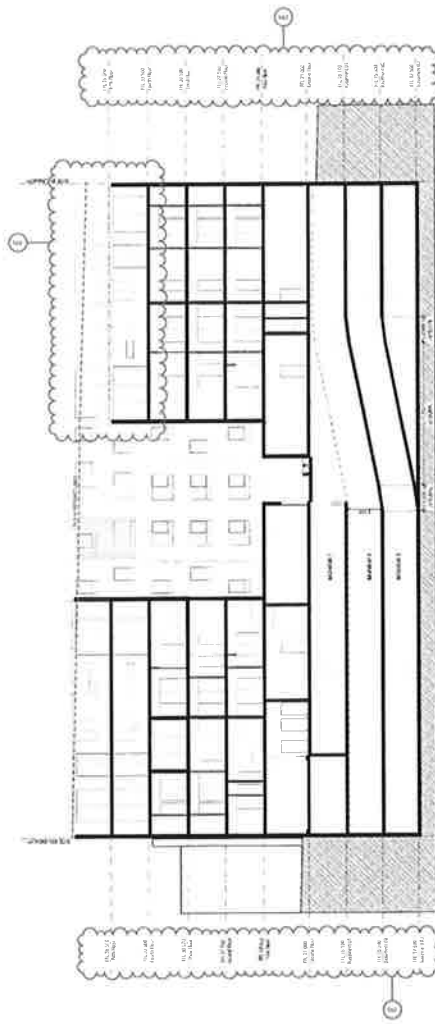
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14/11

DATE
14/11

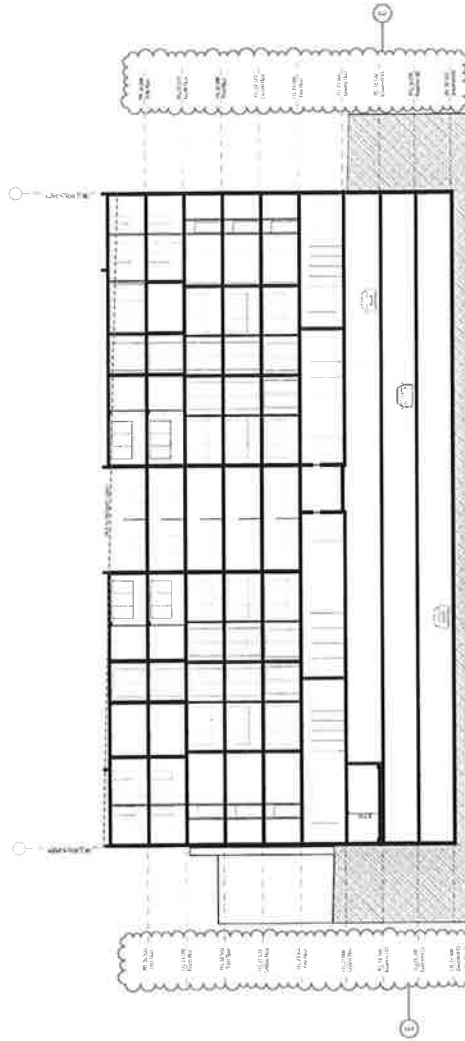
DATE
14/11

DATE
14/11

DATE
14/11



Section C



Section D



Sections - Sections 2
SCALE
DATE
ISSUE
A 201

PROJECT
364-374 Canterbury Road,
CANTERBURY NSW 2194,



BY	DATE
A.S.	20/05/2011
S.S.	27/05/2011

NO	REVISION
1	FOR APPROVAL
2	FOR APPROVAL

PROJECT NO.
14/11

STATUS	DATE	BY	CHKD BY
FOR APPROVAL	20/05/2011	A.S.	S.S.

LEGEND
SHOWN ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED
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WACKENZIE ARCHITECTS
40 THE FORSTER
SYDNEY NSW 2011
PHONE 02 9557 2000
FAX 02 9557 2001
WWW.WACKENZIEARCHITECTS.COM.AU
ACD 001575001



EXTERNAL FINISHES KEY

- 01 ALUOBOND
- 02 RENDER & PAINT 01-
- 03 RENDER & PAINT 02-
- 04 RENDER & PAINT 03
- 05 BRICKWORK
- 06 ANODIZED ALUM. FRAMED WINDOWS & SLIDING DOORS
- 07 TOUGHENED GLASS BALUSTRADE
- 08 ALUM. VERTICAL PRIVACY SCREEN



01. ALUCOBOND
02. RENDER & PAINT 01-
03. RENDER & PAINT 02-
04. RENDER & PAINT 03
05. BRICKWORK
06. ALUM FRAMED WINDOW
07. TOUGHENED GLASS BAL
08. ALUM VERTICAL PRIVA

[illegible]

THE UNIVERSITY OF CHICAGO

- 01 ALUCOBOND
02 FENCEN & PAINT 01
03 HEMLEN APART 02
04 REMER & PAINT 03
05 BUCKWOLD
06 ALUM FRAMED WINDOWS & SLIDING DOORS
07 TOUGHENED GLASS BALUSTRADE
08 ALUM VERTICAL PRIVACY SCREEN

[illegible]

BASIX® Certificate

Building Sustainability Index www.basix.nsw.gov.au

Multi Dwelling

Certificate number: 583867M_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 18/09/2014 published by Planning & Infrastructure. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number 583867M lodged with the consent authority or certifier on 28 October 2014 with application DA 505/2014.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Director-General

Date of issue: Monday, 07 September 2015

To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning &
Infrastructure

Project summary		
Project name	364-374 Canterbury Road Canterbury_02	
Street address	364-366 Canterbury Road Canterbury 2193	
Local Government Area	Canterbury City Council	
Plan type and plan number	deposited 115903	
Lot no.	1	
Section no.	-	
No. of residential flat buildings	2	
No. of units in residential flat buildings	95	
No. of multi-dwelling houses	0	
No. of single dwelling houses	0	
Project score		
Water	✓ 42	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 33	Target 20

Certificate Prepared by



Greenview Consulting Pty Ltd

ABN: 32600067338

Email: dean@greenview.net.au Phone: 0404 649 762

Description of project

Project address	
Project name	364-374 Canterbury Road Canterbury_02
Street address	364-366 Canterbury Road Canterbury 2193
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Lot no.	1
Section no.	-
Project type	
No. of residential flat buildings	2
No. of units in residential flat buildings	95
No. of multi-dwelling houses	0
No. of single dwelling houses	0
Site details	
Site area (m ²)	3158
Roof area (m ²)	1528.1
Non-residential floor area (m ²)	1486.68
Residential car spaces	209
Non-residential car spaces	32

Common area landscape	
Common area lawn (m ²)	0
Common area garden (m ²)	635.62
Area of indigenous or low water use species (m ²)	0
Assessor details	
Assessor number	BDAV/13/1645
Certificate number	16450037
Climate zone	56
Project score	
Water	✔ 42 Target 40
Thermal Comfort	✔ Pass Target Pass
Energy	✔ 33 Target 20

Description of project

The tables below describe the dwellings and common areas within the project

Residential flat buildings - Building A, 44 dwellings, 6 storeys above ground

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)	Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)	Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
1	2	79.8	0.0	0	0	2	1	60.5	0.0	0	0	3	1	60.5	0.0	0	0
5	1	60.5	0.0	0	0	6	1	60.5	0.0	0	0	7	1	60.5	0.0	0	0
9	3	94.3	0.0	0	0	10	3	89.3	0.0	0	0	23	2	79.8	0.0	0	0
25	1	60.5	0.0	0	0	26	1	60.5	0.0	0	0	27	1	60.5	0.0	0	0
29	1	60.5	0.0	0	0	30	2	79.8	0.0	0	0	31	3	94.3	0.0	0	0
45	2	79.8	0.0	0	0	46	1	60.5	0.0	0	0	47	1	60.5	0.0	0	0
49	1	60.5	0.0	0	0	50	1	60.5	0.0	0	0	51	1	60.5	0.0	0	0
53	3	94.3	0.0	0	0	54	3	89.3	0.0	0	0	67	2	74.1	0.0	0	0
69	2	72.8	0.0	0	0	70	2	72.8	0.0	0	0	71	2	74.1	0.0	0	0
73	1	44.5	4.6	0	0	82	2	74.1	0.0	0	0	83	2	72.8	0.0	0	0
85	2	72.8	0.0	0	0	86	2	74.1	0.0	0	0	87	1	51.1	0.0	0	0

Residential flat buildings - Building B, 51 dwellings, 6 storeys above ground

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)	Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)	Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
4	1	60.5	0.0	0	0	4	1	60.5	0.0	0	0	4	1	60.5	0.0	0	0
8	2	79.8	0.0	0	0	8	2	79.8	0.0	0	0	8	2	79.8	0.0	0	0
24	1	60.5	0.0	0	0	24	1	60.5	0.0	0	0	24	1	60.5	0.0	0	0
28	1	60.5	0.0	0	0	28	1	60.5	0.0	0	0	28	1	60.5	0.0	0	0
32	3	89.3	0.0	0	0	32	3	89.3	0.0	0	0	32	3	89.3	0.0	0	0
48	1	60.5	0.0	0	0	48	1	60.5	0.0	0	0	48	1	60.5	0.0	0	0
52	2	79.8	0.0	0	0	52	2	79.8	0.0	0	0	52	2	79.8	0.0	0	0
68	2	72.8	0.0	0	0	68	2	72.8	0.0	0	0	68	2	72.8	0.0	0	0
72	1	51.1	0.0	0	0	72	1	51.1	0.0	0	0	72	1	51.1	0.0	0	0
84	2	72.8	0.0	0	0	84	2	72.8	0.0	0	0	84	2	72.8	0.0	0	0
88	1	44.5	4.6	0	0	88	1	44.5	4.6	0	0	88	1	44.5	4.6	0	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
11	2	64.1	0.0	0	0
15	2	81.7	0.0	0	0
19	2	70.5	0.0	0	0
33	2	64.1	0.0	0	0
37	2	81.7	0.0	0	0
41	2	70.5	0.0	0	0
55	2	64.1	0.0	0	0
59	2	81.7	0.0	0	0
63	2	70.5	0.0	0	0
74	2	65.9	5.2	0	0
78	2	69.0	0.0	0	0
89	2	65.9	5.2	0	0
93	2	69.0	0.0	0	-

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
12	1	60.5	0.0	0	0
16	1	60.5	0.0	0	0
20	2	69.1	0.0	0	0
34	1	60.5	0.0	0	0
38	1	60.5	0.0	0	0
42	1	57.6	0.0	0	0
56	1	60.5	0.0	0	0
60	1	60.5	0.0	0	0
64	1	52.4	0.0	0	0
75	2	69.0	0.0	0	0
79	2	65.9	5.2	0	0
90	2	69.0	0.0	0	0
94	3	100.6	0.0	0	-

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
13	1	60.5	0.0	0	0
17	1	60.5	0.0	0	0
21	2	69.1	0.0	0	0
35	1	60.5	0.0	0	0
39	1	60.5	0.0	0	0
43	1	57.6	0.0	0	0
57	1	60.5	0.0	0	0
61	1	60.5	0.0	0	0
65	1	52.4	0.0	0	0
76	2	81.7	0.0	0	0
80	2	86.5	5.6	0	0
91	2	81.7	0.0	0	0
95	2	86.5	0.0	0	-

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
14	2	81.7	0.0	0	0
18	2	64.1	0.0	0	0
22	2	76.0	4.8	0	0
36	2	81.7	0.0	0	0
40	2	64.1	0.0	0	0
44	2	74.6	0.0	0	0
58	2	81.7	0.0	0	0
62	2	64.1	0.0	0	0
66	2	64.9	0.0	0	0
77	2	81.7	0.0	0	0
81	2	86.5	5.6	0	0
92	3	98.0	0.0	0	0

Description of project

The tables below describe the dwellings and common areas within the project

Common areas of unit building - Building A

Common area	Floor area (m ²)
Lift car (No. 1)	-

Common areas of unit building - Building B

Common area	Floor area (m ²)
Lift car (No. 2)	-
Bulk Store	17.6

Common area	Floor area (m ²)	Common area	Floor area (m ²)
Lift car (No. 3)	-	Residential Bin Store	59.5

Common areas of the development (non-building specific)

Common area	Floor area (m ²)
Carpark B3	2346
Ground Lobbies	57.3

Common area	Floor area (m ²)
Carpark B2	2951.4
Building A and B Lobbies	444.47

Common area	Floor area (m ²)
Carpark B1	2951.4

Schedule of BASIX commitments

1. Commitments for Residential flat buildings - Building A

- (a) Dwellings
 - (i) Water
 - (ii) Energy
 - (iii) Thermal Comfort
- (b) Common areas and central systems/facilities
 - (i) Water
 - (ii) Energy

2. Commitments for Residential flat buildings - Building B

- (a) Dwellings
 - (i) Water
 - (ii) Energy
 - (iii) Thermal Comfort
- (b) Common areas and central systems/facilities
 - (i) Water
 - (ii) Energy

3. Commitments for multi-dwelling houses

4. Commitments for single dwelling houses

5. Commitments for common areas and central systems/facilities for the development (non-building specific)

- (i) Water
- (ii) Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for Residential flat buildings - Building A

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓ ✓	✓ ✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Dwelling no.	Fixtures				Appliances			Individual pool				Individual spa		
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (> 4.5 but <= 6 L/min)	4 star	5 star	5 star	no	-	4 star	-	-	-	-	-	-	-

Alternative water source									
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up	
None	-	-	-	-	-	-	-	-	-

(ii) Energy

	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓ ✓ ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	

Dwelling no.	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry
All dwellings	gas instantaneous 6 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof
						manual switch on/off

Dwelling no.	Cooling			Heating		Artificial lighting						Natural lighting	
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen	
82	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	3 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	no	
86	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	2 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	yes	
72, 73, 87, 88	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	yes	
9, 10, 31, 32, 53, 54	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	3	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	no	
68, 69, 70, 83, 84, 85	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	2	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	yes	
1, 8, 23, 30, 45, 52, 67, 71	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	2	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	no	
2, 3, 4, 5, 6, 7, 24, 25, 26, 27, 28, 29, 46, 47, 48, 49, 50, 51	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	no	

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures							
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & electric oven	-	yes	4.5 star	-	2.5 star	yes	no

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.			
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.			
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓

Thermal loads	
Dwelling no.	Area adjusted heating load (in mJ/m ² /yr)
1	39.7
53	56.0
54	64.4
69	26.9
72	55.9
73	63.7
87	62.3
88	59.9
9, 31	49.0
10, 32	57.3
45, 52	45.2
67, 71	41.4
68, 70	29.6
82, 86	43.1
8, 23, 30	39.7
83, 84, 85	33.6
46, 47, 48, 49, 50, 51	37.5
All other dwellings	27.9
	13.7
	9.0
	10.7
	14.2
	12.6
	15.4
	30.9
	23.7
	12.2
	14.4
	13.8
	10.9
	15.7
	15.9
	17.0
	14.4
	15.6
	24.3

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	3 star (> 4.5 but ≤ 6 L/min)	4 star	5 star	5 star

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Common area ventilation system		Common area lighting			
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Lift car (No. 1)		-	light-emitting diode	connected to lift call button	No

Central energy systems	Type	Specification
Lift (No. 1)	gearless traction with V V V F motor	Number of levels (including basement): 9

2. Commitments for Residential flat buildings - Building B

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓ ✓	✓ ✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Dwelling no.	Fixtures					Appliances		Individual pool					Individual spa		
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded	
93, 94, 95	3 star (> 4.5 but <= 6 L/min)	4 star	5 star	5 star	no	-	4 star	-	-	-	-	-	-	-	-
11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 74, 75, 76, 77, 78, 79, 80, 81, 89, 90, 91, 92	3 star (> 4.5 but <= 6 L/min)	4 star	5 star	5 star	no	-	4 star	-	-	-	-	-	-	-	-

Alternative water source							
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up
None	-	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must:			
(aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and		✓	
(bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓	
(h) The applicant must install in the dwelling:			
(aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below;		✓	
(bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and		✓	✓
(cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	

Dwelling no.	Hot water		Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
	Hot water system		Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
95	gas instantaneous star		individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off
11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 74, 75, 76, 77, 78, 79, 80, 81, 89, 90, 91, 92, 93, 94	gas instantaneous star		individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off

Dwelling no.	Cooling		Heating		Artificial lighting					Natural lighting		
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
92	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	3 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	no

	Cooling				Heating		Artificial lighting						Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
94	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	3 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	no
95	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	2 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes	yes (dedicated)	1	yes
20, 21	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	2 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	no
75, 78	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	2	1	yes	yes	yes	yes	0	yes
80, 81	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	2 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	no
74, 79, 89	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	2 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	yes
42, 43, 56, 64, 65	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	no
14, 15, 36, 37, 58, 59, 76, 77	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	2	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	no

Dwelling no.	Cooling			Heating		Artificial lighting						Natural lighting	
	living areas	bedroom areas	living areas	bedroom areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
12, 13, 16, 17, 34, 35, 38, 39, 57, 60, 61	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	no
11, 18, 19, 22, 33, 40, 41, 44, 55, 62, 63, 66, 90, 91, 93	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	2 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	yes

	Individual pool		Individual spa		Appliances & other efficiency measures							
Dwelling no.	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
93, 94, 95	-	-	-	-	gas cooktop & electric oven	-	yes	4.5 star	-	2.5 star	yes	no

	Individual pool		Individual spa		Appliances & other efficiency measures							
Dwelling no.	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 74, 75, 76, 77, 78, 79, 80, 81, 89, 90, 91, 92	-	-	-	-	gas cooktop & electric oven	-	yes	4.5 star	-	2.5 star	yes	no

(iii) Thermal Comfort

(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			

(iii) Thermal Comfort

	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.			
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.			
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓

Dwelling no.	Thermal loads	
	Area adjusted heating load (in mJ/m ² /yr)	Area adjusted cooling load (in mJ/m ² /yr)
19	63.7	21.7
22	43.7	16.3
37	25.9	17.5
41	60.7	16.4
44	47.9	12.1
55	35.1	15.3
62	33.6	15.1
63	62.0	17.1
66	55.9	12.3
74	26.0	13.6
79	22.2	13.9

Thermal loads	
Dwelling no.	Area adjusted heating load (in mJ/m ² /yr)
80	63.2
81	56.1
89	34.4
91	29.8
92	46.1
94	44.0
95	63.8
20, 21	44.8
42, 43	56.3
64, 65	57.4
75, 78	40.0
90, 93	52.8
14, 15, 36	25.8
11, 18, 33, 40	28.1
56, 57, 60, 61	38.6
58, 59, 76, 77	25.2
All other dwellings	42.5
Area adjusted cooling load (in mJ/m ² /yr)	
	11.4
	10.9
	14.1
	21.1
	23.4
	14.5
	19.7
	12.9
	25.1
	23.4
	15.2
	22.6
	17.5
	24.3
	12.7
	14.8
	21.5

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	3 star (> 4.5 but ≤ 6 L/min)	4 star	5 star	5 star

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

	Common area ventilation system		Common area lighting		
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Lift car (No. 2)		-	light-emitting diode	connected to lift call button	No
Lift car (No. 3)		-	light-emitting diode	connected to lift call button	No
Residential Bin Store	ventilation exhaust only	-	fluorescent	motion sensors	No
Bulk Store	no mechanical ventilation	-	fluorescent	motion sensors	No

Central energy systems	Type	Specification
Lift (No. 2)	gearless traction with V V V F motor	Number of levels (including basement): 9
Lift (No. 3)	gearless traction with V V V F motor	Number of levels (including basement): 9

5. Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	3 star (> 4.5 but ≤ 6 L/min)	4 star	5 star	5 star

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

	Common area ventilation system		Common area lighting		
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Carpark B3	ventilation (supply + exhaust)	carbon monoxide monitor + VSD fan	fluorescent	time clock and motion sensors	No
Carpark B2	ventilation (supply + exhaust)	carbon monoxide monitor + VSD fan	fluorescent	time clock and motion sensors	No
Carpark B1	ventilation (supply + exhaust)	carbon monoxide monitor + VSD fan	fluorescent	time clock and motion sensors	No
Ground Lobbies	no mechanical ventilation	-	compact fluorescent	daylight sensor and motion sensor	No
Building A and B Lobbies	no mechanical ventilation	-	compact fluorescent	daylight sensor and motion sensor	No

Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. **NOTE:** NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

Legend

1. Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✓" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

NatHERS Thermal Performance - Multi Dwelling Certificate									
Assessor Certificate						 Building Designers Association Victoria			
Project Address			Client Details		Assessor Details				
364-374 Canterbury Road Canterbury NSW 2193 Lot 1 DP 115903			Bayside Building Group		Dean Gorman - VIC/BDAV/13/1645				
Software	Version	Climate Zone	Certificate Number	Rated with Downlights	Concessions	Assessment Date			
BERS Pro 4.2	V110811/A	56	16450037	No	None	07-September-2015			
Drawings used for the Thermal Performance Assessment									
Architect:		Mackenzie Architects International / 4/3 The Postern Castlecrag NSW 2068 / Ph (02) 9967 9966							
Project Ref	Drawing No	Drawing Title			Rev	Date			
14/11		Cover Sheet			E	27.08.2015			
14/11	A100	Plans - Basement 02 & 03			B	16.03.2015			
14/11	A101	Plans - Basement 01			C	30.03.2015			
14/11	A102	Plans - Ground			E	27.08.2015			
14/11	A103	Plans - First & Second			C	30.03.2015			
14/11	A104	Plans - Third & Fourth			E	27.08.2015			
14/11	A105	Plans - Fifth & Roof			E	27.08.2015			
14/11	A200	Sections - Section 1			E	27.08.2015			
14/11	A201	Sections - Sections 2			E	27.08.2015			
14/11	A300	Elevations - Elevations 01			C	30.03.2015			
14/11	A301	Elevations - Elevations 02			E	27.08.2015			
14/11	A302	Elevations - Elevations 03			E	27.08.2015			
NatHERS Thermal Performance Results									
Unit No	Beds	Cond Area m ²	Uncond Area m ²	Heating MJ/m ²	Cooling MJ/m ²	Total H & C MJ/m ²	Stars	BERS File Ref	Comments/Notes
1	2	79.8	0	39.7	17.0	56.7	5.5	140811 U3_1	
2	1	60.5	0	27.9	24.3	52.2	5.5	140811 U4_1	
3	1	60.5	0	27.9	24.3	52.2	5.5	140811 U4_1	
4	1	60.5	0	27.9	24.3	52.2	5.5	140811 U4_1	
5	1	60.5	0	27.9	24.3	52.2	5.5	140811 U4_1	
6	1	60.5	0	27.9	24.3	52.2	5.5	140811 U4_1	
7	1	60.5	0	27.9	24.3	52.2	5.5	140811 U4_1	
8	2	79.8	0	39.7	17.0	56.7	5.5	140811 U3_1	
9	3	94.3	0	49.0	12.2	61.2	5.0	140811 U11_1	
10	3	89.3	0	57.3	14.4	71.7	4.5	140811 U12_1	
11	2	64.1	0	28.1	24.3	52.4	5.5	140811 U13_1	
12	1	60.5	0	42.5	21.5	64.0	5.0	140811 U15_1	
13	1	60.5	0	42.5	21.5	64.0	5.0	140811 U15_1	
14	2	81.7	0	25.8	17.5	43.3	6.5	140811 U16_1	
15	2	81.7	0	25.8	17.5	43.3	6.5	140811 U16_1	
16	1	60.5	0	42.5	21.5	64.0	5.0	140811 U15_1	
17	1	60.5	0	42.5	21.5	64.0	5.0	140811 U15_1	
18	2	64.1	0	28.1	24.3	52.4	5.5	140811 U13_1	
19	2	70.5	0	63.7	21.7	85.4	4.0	140811 U19_1	
20	2	69.1	0	44.8	12.9	57.7	5.5	140811 U22_1	
21	2	69.1	0	44.8	12.9	57.7	5.5	140811 U22_1	
22	2	76.0	4.8	43.7	18.3	60.0	5.0	140811 U24_1	
23	2	79.8	0	39.7	17.0	56.7	5.5	140811 U3_1	
24	1	60.5	0	27.9	24.3	52.2	5.5	140811 U4_1	
25	1	60.5	0	27.9	24.3	52.2	5.5	140811 U4_1	
26	1	60.5	0	27.9	24.3	52.2	5.5	140811 U4_1	
27	1	60.5	0	27.9	24.3	52.2	5.5	140811 U4_1	
28	1	60.5	0	27.9	24.3	52.2	5.5	140811 U4_1	
29	1	60.5	0	27.9	24.3	52.2	5.5	140811 U4_1	
30	2	79.8	0	39.7	17.0	56.7	5.5	140811 U3_1	
31	3	94.3	0	49.0	12.2	61.2	5.0	140811 U11_1	
32	3	89.3	0	57.3	14.4	71.7	4.5	140811 U12_1	
33	2	64.1	0	28.1	24.3	52.4	5.5	140811 U13_1	
34	1	60.5	0	42.5	21.5	64.0	5.0	140811 U15_1	
35	1	60.5	0	42.5	21.5	64.0	5.0	140811 U15_1	
36	2	81.7	0	25.8	17.5	43.3	6.5	140811 U16_1	
37	2	81.7	0	25.8	17.5	43.3	6.5	140811 U16_1	
38	1	60.5	0	42.5	21.5	64.0	5.0	140811 U15_1	
39	1	60.5	0	42.5	21.5	64.0	5.0	140811 U15_1	
40	2	64.1	0	28.1	24.3	52.4	5.5	140811 U13_1	
41	2	70.5	0	60.7	16.4	77.1	4.0	140811 U41_1	

Energy Rating		Certificate Number 16450037
☐ single-dwelling rating		5.3 stars
☒ multi-unit development (attach listing of ratings) If selected, data specifies the average across the entire development		heating 39.6 MJ/m ² cooling 18.7 MJ/m ²
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BDAV/13/1645		
Assessor Signature		Date 7 Sep 2015

NatHERS Thermal Performance Results									
Unit No	Beds	Cond Area m ²	Uncond Area m ²	Heating MJ/m ²	Cooling MJ/m ²	Total H & C MJ/m ²	Stars	BERS File Ref	Comments/Notes
42	1	57.6	0	56.3	25.1	81.4	4.0	140811 U44_1	
43	1	57.6	0	56.3	25.1	81.4	4.0	140811 U44_1	
44	2	74.6	0	47.9	12.7	60.6	5.0	140811 U44_2	
45	2	79.8	0	45.2	13.8	59.0	5.0	140811 U47_1	
46	1	60.5	0	37.5	15.6	53.1	5.5	140811 U48_1	
47	1	60.5	0	37.5	15.6	53.1	5.5	140811 U48_1	
48	1	60.5	0	37.5	15.6	53.1	5.5	140811 U48_1	
49	1	60.5	0	37.5	15.6	53.1	5.5	140811 U48_1	
50	1	60.5	0	37.5	15.6	53.1	5.5	140811 U48_1	
51	1	60.5	0	37.5	15.6	53.1	5.5	140811 U48_1	
52	2	79.8	0	45.2	13.8	59.0	5.0	140811 U47_1	
53	3	94.3	0	56.0	9.0	65.0	5.0	140811 U53_1	
54	3	89.3	0	64.4	10.7	75.1	4.0	140811 U54_1	
55	2	64.1	0	35.1	15.3	50.4	6.0	140811 U55_2	
56	1	60.5	0	38.6	12.7	51.3	5.5	140811 U59_1	
57	1	60.5	0	38.6	12.7	51.3	5.5	140811 U59_1	
58	2	81.7	0	25.2	14.8	40.0	6.5	140811 U60_1	
59	2	81.7	0	25.2	14.8	40.0	6.5	140811 U60_1	
60	1	60.5	0	38.6	12.7	51.3	5.5	140811 U59_1	
61	1	60.5	0	38.6	12.7	51.3	5.5	140811 U59_1	
62	2	64.1	0	33.6	15.1	48.7	6.0	140811 U57_1	
63	2	70.5	0	62.0	17.1	79.1	4.0	140811 U63_1	
64	1	52.4	0	57.4	23.4	80.8	4.0	140811 U66_1	
65	1	52.4	0	57.4	23.4	80.8	4.0	140811 U66_1	
66	2	64.9	0	55.9	12.3	68.2	4.5	140811 U68_1	
67	2	74.1	0	41.4	10.9	52.3	5.5	140811 U69_1	
68	2	72.8	0	29.6	15.7	45.3	6.0	140811 U68_2	
69	2	72.8	0	26.9	14.2	41.1	6.5	140811 U69_2	
70	2	72.8	0	29.6	15.7	45.3	6.0	140811 U68_2	
71	2	74.1	0	41.4	10.9	52.3	5.5	140811 U69_1	
72	1	51.1	0	55.9	12.6	68.5	4.5	140811 U72_1	
73	1	44.5	4.6	63.7	15.4	79.1	4.0	140811 U73_1	
74	2	65.9	5.2	26.0	13.6	39.6	6.5	140811 U74_2	
75	2	69	0	40.0	15.2	55.2	5.5	140811 U75_2	
76	2	81.7	0	25.2	14.8	40.0	6.5	140811 U60_1	
77	2	81.7	0	25.2	14.8	40.0	6.5	140811 U60_1	
78	2	69	0	40.0	15.2	55.2	5.5	140811 U75_2	
79	2	65.9	5.2	22.2	13.9	36.1	7.0	140811 U79_1	
80	2	86.5	5.6	63.2	11.4	74.6	4.5	140811 U84_1	
81	2	86.5	5.6	58.1	10.9	67.0	4.5	140811 U85_1	
82	2	74.1	0	43.1	15.9	59.0	5.0	140811 U82_1	
83	2	72.8	0	33.6	14.4	48.0	6.0	140811 U83_2	
84	2	72.8	0	33.6	14.4	48.0	6.0	140811 U83_2	
85	2	72.8	0	33.6	14.4	48.0	6.0	140811 U83_2	
86	2	74.1	0	43.1	15.9	59.0	5.0	140811 U82_1	
87	1	51.1	0	62.3	30.9	93.2	3.5	140811 U87_2	
88	1	44.5	4.6	59.9	23.7	83.6	4.0	140811 U88_1	
89	2	65.9	5.2	34.4	14.1	48.5	6.0	140811 U89_1	
90	2	69	0	52.8	22.6	75.4	4.0	140811 U90_1	
91	2	81.7	0	29.8	21.1	50.9	6.0	140811 U91_2	
92	3	98	0	46.1	23.4	69.5	4.5	140811 U92_2	
93	2	69	0	52.8	22.6	75.4	4.0	140811 U90_1	
94	3	100.6	0	44.0	14.5	58.5	5.0	140811 U94_2	
95	2	86.5	5.6	63.8	19.7	83.5	4.0	140811 U95_2	
				Heating MJ/m ²	Cooling MJ/m ²	Total H & C MJ/m ²	Stars		
Average all dwellings				40.4	17.9	58.3	5.3		

		Energy Rating		Certificate Number	16450037
☐	single-dwelling rating			5.3	stars
☒	multi-unit development (attach listing of ratings)	heating	39.6	MJ/m ²	
	If selected, data specified is the average across the entire development	cooling	18.7	MJ/m ²	
Recessed downlights confirmation:		☐ Rated with	☒ Rated without		
Assessor Name/Number		Dean Gorman VIC/BDAY13/1645			
Assessor Signature		Date 7 Sep 2015			

Building Element Details

Project 140811 U3 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	79.8 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	79.8 m ²
Total Glazed Area	16.3 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	20.4 %
Gross External Wall Area	119.3 m ²
Net External Wall Area	101.2 m ²

Window

16.3 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

18.7 m² PowerPanel Bulk Insulation R 0.5
54.5 m² Brick Veneer Bulk Insulation R 1.5
28.1 m² PowerPanel to neighbour No Insulation

Internal Wall

59.9 m² Cavity Panel 70mm gap No Insulation

External Floor

53.8 m² Concrete Slab, Unit Below Ceramic Tiles 8mm No Insulation
26.0 m² Concrete Slab, Unit Below Carpet 10mm No Insulation

External Ceiling

79.9 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

79.8 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



5.5 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U3_1
Date 28/10/2014
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 5.5 Stars
Conditioned Area 79.85 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 17.0 MJ/m²
Adjusted Heating 39.7 MJ/m²
Adjusted Total 56.7 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 3
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Energy Rating		Certificate Number
☐ single-dwelling rating	5.3 stars	16450037
☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating 39.6 MJ/m ² cooling 18.7 MJ/m ²	
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BDAV/13/1645		
Assessor Signature		Date 7 Sep 2015

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U4 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	60.5 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	60.5 m ²
Total Glazed Area	17.8 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	29.4 %
Gross External Wall Area	92.9 m ²
Net External Wall Area	73.3 m ²

Window

17.8 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

10.8 m² Brick Veneer Bulk Insulation R 1.5
54.5 m² PowerPanel to neighbour No Insulation
7.9 m² PowerPanel Bulk Insulation R 0.5

Internal Wall

30.5 m² Cavity Panel 70mm gap No Insulation

External Floor

12.7 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
47.8 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

60.5 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

60.5 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



5.5 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U4_1
Date 28/10/2014
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 5.5 Stars
Conditioned Area 60.53 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 24.3 MJ/m²
Adjusted Heating 27.9 MJ/m²
Adjusted Total 52.2 MJ/m²

Energy Rating		Certificate Number
☐	single-dwelling rating	5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating 39.6 MJ/m ² cooling 18.7 MJ/m ²
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BDV/13/1645		
Assessor Signature		Date 7 Sep 2015

Dwelling Address

DP Number 115903
Unit Number 4
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U11 Run 1
CAMPSIE PC 2194 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	94.3 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	94.3 m ²
Total Glazed Area	24.9 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	26.4 %
Gross External Wall Area	118.8 m ²
Net External Wall Area	92.1 m ²

Window

24.9 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

11.1 m² PowerPanel to neighbour No Insulation
56.0 m² PowerPanel Bulk Insulation R 0.5
25.0 m² Brick Veneer Bulk Insulation R 1.5

Internal Wall

62.1 m² Cavity Panel 70mm gap No Insulation

External Floor

59.4 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation
24.2 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
10.7 m² Concrete Slab, Unit Below 40/60 Carpet 10mm/Ceramic No Insulation

External Ceiling

94.3 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

94.3 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



5.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U11_1
Date 28/10/2014
Location CAMPSIE PC 2194
Climate file climat56.TXT
Adjusted Star Rating 5.0 Stars
Conditioned Area 94.30 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 12.2 MJ/m²
Adjusted Heating 49.0 MJ/m²
Adjusted Total 61.2 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 11
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Energy Rating		Certificate Number	16450037
☐	single-dwelling rating	5.3	stars
☒	multi-unit development (attach listing of ratings)	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
If selected, data specified is the average across the entire development			
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAY/13/1645	
Assessor Signature		Date 7 Sep 2015	

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U12 Run 1
CAMPSIE PC 2194 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	89.3 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	89.3 m ²
Total Glazed Area	25.6 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	28.6 %
Gross External Wall Area	121.0 m ²
Net External Wall Area	93.6 m ²

Window

25.6 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

23.3 m² Brick Veneer Bulk Insulation R 1.5
60.5 m² PowerPanel Bulk Insulation R 0.5
9.7 m² PowerPanel to neighbour No Insulation

Internal Wall

58.6 m² Cavity Panel 70mm gap No Insulation

External Floor

54.5 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation
24.2 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
10.7 m² Concrete Slab, Unit Below Ceramic Tiles 8mm No Insulation

External Ceiling

89.3 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

89.3 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



4.5 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U12_1
Date 28/10/2014
Location CAMPSIE PC 2194
Climate file climat56.TXT
Adjusted Star Rating 4.5 Stars
Conditioned Area 89.33 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 14.4 MJ/m²
Adjusted Heating 57.3 MJ/m²
Adjusted Total 71.7 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 12
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Energy Rating		Certificate Number	16450037
☐	single-dwelling rating	5.3	stars
☒	multi-unit development (attach listing of ratings)	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
If selected, data specified is the average across the entire development			
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAY/13/1645	
Assessor Signature		Date 7 Sep 2015	

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U13 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	64.1 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	64.1 m ²
Total Glazed Area	20.1 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	31.3 %
Gross External Wall Area	99.4 m ²
Net External Wall Area	77.5 m ²

Window

20.1 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

54.5 m² Brick Veneer Bulk Insulation R 1.5
21.9 m² PowerPanel to neighbour No Insulation
1.1 m² PowerPanel Bulk Insulation R 0.5

Internal Wall

45.4 m² Cavity Panel 70mm gap No Insulation

External Floor

23.7 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
40.4 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

64.1 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

64.1 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



5.5 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U13_1
Date 28/10/2014
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 5.5 Stars
Conditioned Area 64.11 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 24.3 MJ/m²
Adjusted Heating 28.1 MJ/m²
Adjusted Total 52.4 MJ/m²

 Energy Rating		Certificate Number 16450037
☐ single-dwelling rating		5.3 stars
☒ multi-unit development (attach listing of ratings)	heating	39.6 MJ/m ²
If selected, data specified is the average across the entire development	cooling	18.7 MJ/m ²
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BDAY/13/1645		
Assessor Signature 		Date 7 Sep 2015

Dwelling Address

DP Number 115903
Unit Number 13
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U15 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	60.5 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	60.5 m ²
Total Glazed Area	17.0 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	28.1 %
Gross External Wall Area	92.9 m ²
Net External Wall Area	74.1 m ²

Window

17.0 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

22.4 m² Brick Veneer Bulk Insulation R 1.5
43.5 m² PowerPanel to neighbour No Insulation
8.1 m² PowerPanel Bulk Insulation R 0.5

Internal Wall

30.5 m² Cavity Panel 70mm gap No Insulation

External Floor

12.7 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
47.8 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

60.5 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

60.5 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate New Dwelling



5.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U15_1
Date 28/10/2014
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 5.0 Stars
Conditioned Area 60.53 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 21.5 MJ/m²
Adjusted Heating 42.5 MJ/m²
Adjusted Total 64.0 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 15
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Energy Rating		Certificate Number	16450037
☐	single-dwelling rating	5.3	stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDV/13/1645	
Assessor Signature		Date 7 Sep 2015	

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U16 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	81.7 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	81.7 m ²
Total Glazed Area	15.4 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	18.8 %
Gross External Wall Area	118.3 m ²
Net External Wall Area	101.1 m ²

Window

15.4 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

13.8 m² Brick Veneer Bulk Insulation R 1.5
85.1 m² PowerPanel to neighbour No Insulation
2.2 m² PowerPanel Bulk Insulation R 0.5

Internal Wall

44.3 m² Cavity Panel 70mm gap No Insulation

External Floor

70.6 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation
11.1 m² Concrete Slab, Unit Below Carpet 10mm No Insulation

External Ceiling

81.7 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

81.7 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



6.5 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U16_1
Date 28/10/2014
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 6.5 Stars
Conditioned Area 81.67 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 17.5 MJ/m²
Adjusted Heating 25.8 MJ/m²
Adjusted Total 43.4 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 16
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Energy Rating		Certificate Number
☐ single-dwelling rating		16450037
☒ multi-unit development (attach listing of ratings)	heating	5.3 stars
If selected, data specified is the average across the entire development	cooling	39.6 MJ/m ²
		18.7 MJ/m ²
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BDV/13/1645		
Assessor Signature		Date 7 Sep 2015

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U19 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	70.5 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	70.5 m ²
Total Glazed Area	34.6 m ²
Total External Solid door Area	1.9 m ²
Glass to Floor Area	49.0 %
Gross External Wall Area	108.6 m ²
Net External Wall Area	72.2 m ²

Window

34.6 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

42.4 m² Brick Veneer Bulk Insulation R 1.5
15.1 m² PowerPanel to neighbour No Insulation
14.6 m² PowerPanel Bulk Insulation R 1.5

Internal Wall

60.5 m² Cavity Panel 70mm gap No Insulation

External Floor

8.6 m² Concrete Slab, Unit Below Ceramic Tiles 8mm No Insulation
26.7 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
35.2 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

70.5 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

70.5 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



4.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U19_1
Date 7/09/2015
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 4.0 Stars
Conditioned Area 70.46 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 21.7 MJ/m²
Adjusted Heating 63.7 MJ/m²
Adjusted Total 85.4 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 19
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Energy Rating		Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings)	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
If selected, data specified is the average across the entire development			
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAY/13/1645	
Assessor Signature		Date 7 Sep 2015	

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U22 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	69.1 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	69.1 m ²
Total Glazed Area	14.3 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	20.7 %
Gross External Wall Area	111.2 m ²
Net External Wall Area	95.1 m ²

Window

14.3 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

31.9 m² PowerPanel Bulk Insulation R 0.5
32.1 m² PowerPanel to neighbour No Insulation
31.1 m² Brick Veneer Bulk Insulation R 1.5

Internal Wall

37.8 m² Cavity Panel 70mm gap No Insulation

External Floor

26.3 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
6.3 m² Concrete Slab, Unit Below 40/60 Carpet 10mm/Ceramic No Insulation
36.5 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

69.1 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

69.1 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



5.5 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U22_1
Date 28/10/2014
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 5.5 Stars
Conditioned Area 69.12 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 12.9 MJ/m²
Adjusted Heating 44.8 MJ/m²
Adjusted Total 57.7 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 22
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Energy Rating		Certificate Number
☐ single-dwelling rating	5.3 stars	16450037
☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating 39.6 MJ/m ² cooling 18.7 MJ/m ²	
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BD4V/13/1645		
Assessor Signature		Date 7 Sep 2015

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U24 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	76.0 m ²
Unconditioned Area	4.8 m ²
Total Floor Area	80.8 m ²
Total Glazed Area	17.8 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	22.1 %
Gross External Wall Area	112.3 m ²
Net External Wall Area	92.6 m ²

Window

17.8 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

62.3 m² Brick Veneer Bulk Insulation R 1.5
18.2 m² PowerPanel Bulk Insulation R 0.5
12.2 m² PowerPanel to neighbour No Insulation

Internal Wall

70.2 m² Cavity Panel 70mm gap No Insulation

External Floor

29.4 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
9.2 m² Concrete Slab, Unit Below Ceramic Tiles 8mm No Insulation
8.4 m² Concrete Slab, Unit Below 80/20 Carpet 10mm/Ceramic No Insulation
33.8 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

11.2 m² Plasterboard No Insulation No roofspace cavity
69.6 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

11.2 m² Concrete Bulk Insulation, No Air Gap Above R 3.0 3° slope Skillion roof
69.6 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



5.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U24_1
Date 28/10/2014
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 5.0 Stars
Conditioned Area 75.97 m²
Unconditioned Area 4.83 m²
Adjusted Cooling 16.3 MJ/m²
Adjusted Heating 43.7 MJ/m²
Adjusted Total 59.9 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 24
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Energy Rating		Certificate Number
☐ single-dwelling rating		16450037
☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	5.3 stars	
	heating 39.6 MJ/m ²	
	cooling 18.7 MJ/m ²	
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BDAY/13/1645		
Assessor Signature		Date 7 Sep 2015

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U41 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	70.5 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	70.5 m ²
Total Glazed Area	34.6 m ²
Total External Solid door Area	1.9 m ²
Glass to Floor Area	49.0 %
Gross External Wall Area	108.6 m ²
Net External Wall Area	72.2 m ²

Window

34.6 m² GGG-05-013a Generics Uval 4.70 SHGC 0.63
Glass Single Glazed Low E Clear
Frame Aluminium

External Wall

42.4 m² Brick Veneer Bulk Insulation R 1.5
15.1 m² PowerPanel to neighbour No Insulation
14.6 m² PowerPanel Bulk Insulation R 0.5

Internal Wall

60.5 m² Cavity Panel 70mm gap No Insulation

External Floor

8.6 m² Concrete Slab, Unit Below Ceramic Tiles 8mm No Insulation
26.7 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
35.2 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

70.5 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

70.5 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) if selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



4.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U41_1
Date 7/09/2015
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 4.0 Stars
Conditioned Area 70.46 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 16.4 MJ/m²
Adjusted Heating 60.7 MJ/m²
Adjusted Total 77.1 MJ/m²

Energy Rating		Certificate Number
☐ single-dwelling rating		5.3 stars
☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
	cooling	18.7 MJ/m ²
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BD4V/13/1645		
Assessor Signature		Date 7 Sep 2015

Dwelling Address

DP Number 115903
Unit Number 41
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U44 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	57.6 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	57.6 m ²
Total Glazed Area	16.7 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	28.9 %
Gross External Wall Area	95.6 m ²
Net External Wall Area	77.1 m ²

Window

16.7 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

32.2 m² PowerPanel Bulk Insulation R 0.5
27.0 m² PowerPanel to neighbour No Insulation
17.9 m² Brick Veneer Bulk Insulation R 1.5

Internal Wall

37.8 m² Cavity Panel 70mm gap No Insulation

External Floor

13.3 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
7.7 m² Concrete Slab, Unit Below 40/60 Carpet 10mm/Ceramic No Insulation
9.9 m² Concrete Slab, Unit Below 80/20 Carpet 10mm/Ceramic No Insulation
26.6 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

57.6 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

57.6 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



4.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U44_1
Date 28/10/2014
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 4.0 Stars
Conditioned Area 57.62 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 25.1 MJ/m²
Adjusted Heating 56.3 MJ/m²
Adjusted Total 81.5 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 44
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Energy Rating		Certificate Number
☐ single-dwelling rating	5.3 stars	16450037
☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating 39.6 MJ/m ² cooling 18.7 MJ/m ²	
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BD4V/13/1645		
Assessor Signature		Date 7 Sep 2015

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U44 Run 2
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	74.6 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	74.6 m ²
Total Glazed Area	17.8 m ²
Total External Solid door Area	1.9 m ²
Glass to Floor Area	23.8 %
Gross External Wall Area	105.8 m ²
Net External Wall Area	86.2 m ²

Window

17.8 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

55.3 m² Brick Veneer Bulk Insulation R 1.5
18.0 m² PowerPanel Bulk Insulation R 0.5
12.9 m² PowerPanel to neighbour No Insulation

Internal Wall

61.6 m² Cavity Panel 70mm gap No Insulation

External Floor

8.6 m² Concrete Slab, Unit Below Ceramic Tiles 8mm No Insulation
29.9 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
36.1 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

74.6 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

74.6 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling

5.0 Stars



Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U44_2
Date 7/09/2015
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 5.0 Stars
Conditioned Area 74.62 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 12.7 MJ/m²
Adjusted Heating 47.9 MJ/m²
Adjusted Total 60.6 MJ/m²

Energy Rating		Certificate Number
☐	single-dwelling rating	5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development.	heating 39.6 MJ/m ² cooling 18.7 MJ/m ²
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BDAY/13/1645		
Assessor Signature		Date 7 Sep 2015

Dwelling Address

DP Number 115903
Unit Number 44
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U47 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	79.8 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	79.8 m ²
Total Glazed Area	16.3 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	20.4 %
Gross External Wall Area	119.3 m ²
Net External Wall Area	101.2 m ²

Window

16.3 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

18.7 m² PowerPanel Bulk Insulation R 0.5
54.5 m² Brick Veneer Bulk Insulation R 1.5
28.1 m² PowerPanel to neighbour No Insulation

Internal Wall

59.9 m² Cavity Panel 70mm gap No Insulation

External Floor

53.8 m² Concrete Slab, Unit Below Ceramic Tiles 8mm No Insulation
26.0 m² Concrete Slab, Unit Below Carpet 10mm No Insulation

External Ceiling

79.9 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

79.8 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling

5.0 Stars



Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U47_1
Date 28/10/2014
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 5.0 Stars
Conditioned Area 79.85 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 13.8 MJ/m²
Adjusted Heating 45.2 MJ/m²
Adjusted Total 59.1 MJ/m²

Energy Rating		Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BD4V/13/1645	
Assessor Signature		Date 7 Sep 2015	

Dwelling Address

DP Number 115903
Unit Number 47
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U48 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	60.5 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	60.5 m ²
Total Glazed Area	17.8 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	29.4 %
Gross External Wall Area	92.9 m ²
Net External Wall Area	73.3 m ²

Window

17.8 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

10.8 m² Brick Veneer Bulk Insulation R 1.5
54.5 m² PowerPanel to neighbour No Insulation
7.9 m² PowerPanel Bulk Insulation R 0.5

Internal Wall

30.5 m² Cavity Panel 70mm gap No Insulation

External Floor

12.7 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
47.8 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

30.9 m² Concrete, Plasterboard No Insulation Apartment above
29.6 m² Plasterboard No Insulation No roofspace cavity

Roof (Horizontal area)

30.9 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof
29.6 m² Concrete Bulk Insulation, No Air Gap Above R 3.0 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



5.5 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U48_1
Date 28/10/2014
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 5.5 Stars
Conditioned Area 60.53 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 15.6 MJ/m²
Adjusted Heating 37.5 MJ/m²
Adjusted Total 53.1 MJ/m²

Energy Rating		Certificate Number
☐ single-dwelling rating		16450037
☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development		
	heating	5.3 stars
	cooling	39.6 MJ/m ²
		18.7 MJ/m ²
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BDV/13/1645		
Assessor Signature		Date 7 Sep 2015

Dwelling Address

DP Number 115903
Unit Number 48
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U53 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	94.3 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	94.3 m ²
Total Glazed Area	24.9 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	26.4 %
Gross External Wall Area	118.8 m ²
Net External Wall Area	92.1 m ²

Window

24.9 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

11.1 m² PowerPanel to neighbour No Insulation
56.0 m² PowerPanel Bulk Insulation R 0.5
25.0 m² Brick Veneer Bulk Insulation R 1.5

Internal Wall

62.1 m² Cavity Panel 70mm gap No Insulation

External Floor

59.4 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation
24.2 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
10.7 m² Concrete Slab, Unit Below 40/60 Carpet 10mm/Ceramic No Insulation

External Ceiling

70.1 m² Concrete, Plasterboard No Insulation Apartment above
24.2 m² Plasterboard No Insulation No roofspace cavity

Roof (Horizontal area)

70.1 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof
24.2 m² Concrete Bulk Insulation, No Air Gap Above R 3.0 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐ single-dwelling rating			5.3 stars
☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development		heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



5.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U53_1
Date 7/09/2015
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 5.0 Stars
Conditioned Area 94.30 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 9.0 MJ/m²
Adjusted Heating 56.0 MJ/m²
Adjusted Total 64.9 MJ/m²

Energy Rating		Certificate Number
☐ single-dwelling rating		16450037
☒ multi-unit development (attach listing of ratings)		
If selected, data specified is the average across the entire development		
heating	5.3 stars	
cooling	39.6 MJ/m ²	
cooling	18.7 MJ/m ²	
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BDAY/13/1645		
Assessor Signature		Date 7 Sep 2015

Dwelling Address

DP Number 115903
Unit Number 53
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U54 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	89.3 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	89.3 m ²
Total Glazed Area	25.6 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	28.6 %
Gross External Wall Area	121.0 m ²
Net External Wall Area	93.6 m ²

Window

25.6 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

23.3 m² Brick Veneer Bulk Insulation R 1.5
60.5 m² PowerPanel Bulk Insulation R 0.5
9.7 m² PowerPanel to neighbour No Insulation

Internal Wall

58.6 m² Cavity Panel 70mm gap No Insulation

External Floor

54.5 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation
24.2 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
10.7 m² Concrete Slab, Unit Below Ceramic Tiles 8mm No Insulation

External Ceiling

65.2 m² Concrete, Plasterboard No Insulation Apartment above
24.2 m² Plasterboard No Insulation No roofspace cavity

Roof (Horizontal area)

65.1 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof
24.2 m² Concrete Bulk Insulation, No Air Gap Above R 3.0 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BD4V/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



4.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U54_1
Date 7/09/2015
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 4.0 Stars
Conditioned Area 89.33 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 10.7 MJ/m²
Adjusted Heating 64.4 MJ/m²
Adjusted Total 75.2 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 54
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@mainternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

		Energy Rating		Certificate Number 16450037	
☐	single-dwelling rating			5.3	stars
☒	multi-unit development (attach listing of ratings)			heating	39.6 MJ/m ²
				cooling	18.7 MJ/m ²
If selected, data specified is the average across the entire development					
Recessed downlights confirmation: ☐ Rated with ☒ Rated without					
Assessor Name/Number Dean Gorman VIC/BDAV/13/1645					
Assessor Signature 				Date 7 Sep 2015	

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U55 Run 2
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	64.1 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	64.1 m ²
Total Glazed Area	20.1 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	31.3 %
Gross External Wall Area	99.4 m ²
Net External Wall Area	77.5 m ²

Window

20.1 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

54.5 m² Brick Veneer Bulk Insulation R 1.5
21.9 m² PowerPanel to neighbour No Insulation
1.1 m² PowerPanel Bulk Insulation R 0.5

Internal Wall

45.4 m² Cavity Panel 70mm gap No Insulation

External Floor

23.7 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
40.4 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

12.6 m² Plasterboard No Insulation No roofspace cavity
51.5 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

12.6 m² Concrete Bulk Insulation, No Air Gap Above R 3.0 3° slope Skillion roof
51.5 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐ single-dwelling rating			5.3 stars
☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development		heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAY/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate New Dwelling



6.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U55_2
Date 7/09/2015
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 6.0 Stars
Conditioned Area 64.11 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 15.3 MJ/m²
Adjusted Heating 35.1 MJ/m²
Adjusted Total 50.4 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 55
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

		Energy Rating		Certificate Number	16450037
☐	single-dwelling rating		5.3	stars	
☒	multi-unit development (attach listing of ratings)	heating	39.6	MJ/m ²	
If selected, data specified is the average across the entire development		cooling	18.7	MJ/m ²	
Recessed downlights confirmation: ☐ Rated with ☒ Rated without					
Assessor Name/Number Dean Gorman VIC/BDV/13/1645					
Assessor Signature 				Date 7 Sep 2015	

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U57 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	64.1 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	64.1 m ²
Total Glazed Area	20.1 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	31.3 %
Gross External Wall Area	99.4 m ²
Net External Wall Area	77.5 m ²

Window

20.1 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

54.5 m² Brick Veneer Bulk Insulation R 1.5
21.9 m² PowerPanel to neighbour No Insulation
1.1 m² PowerPanel Bulk Insulation R 0.5

Internal Wall

45.4 m² Cavity Panel 70mm gap No Insulation

External Floor

23.7 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
40.4 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

64.1 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

64.1 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



6.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U57_1
Date 28/10/2014
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 6.0 Stars
Conditioned Area 64.11 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 15.1 MJ/m²
Adjusted Heating 33.6 MJ/m²
Adjusted Total 48.8 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 57
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Energy Rating		Certificate Number
☐ single-dwelling rating		16450037
☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating 5.3 stars cooling 39.6 MJ/m ² 18.7 MJ/m ²	
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BDAY/13/1645		
Assessor Signature		Date 7 Sep 2015

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U59 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	60.5 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	60.5 m ²
Total Glazed Area	17.0 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	28.1 %
Gross External Wall Area	92.9 m ²
Net External Wall Area	74.1 m ²

Window

17.0 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

22.4 m² Brick Veneer Bulk Insulation R 1.5
43.5 m² PowerPanel to neighbour No Insulation
8.1 m² PowerPanel Bulk Insulation R 0.5

Internal Wall

30.5 m² Cavity Panel 70mm gap No Insulation

External Floor

12.7 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
47.8 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

60.5 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

60.5 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAY/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



5.5 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U59_1
Date 28/10/2014
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 5.5 Stars
Conditioned Area 60.53 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 12.7 MJ/m²
Adjusted Heating 38.6 MJ/m²
Adjusted Total 51.3 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 59
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Energy Rating		Certificate Number	16450037
☐	single-dwelling rating	5.3	stars
☒	multi-unit development (attach listing of ratings)	heating	39.6 MJ/m ²
If selected, data specified is the average across the entire development		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman	VIC/BDV/13/1645
Assessor Signature			Date 7 Sep 2015

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U60 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	81.7 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	81.7 m ²
Total Glazed Area	15.4 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	18.8 %
Gross External Wall Area	118.3 m ²
Net External Wall Area	101.1 m ²

Window

15.4 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

13.8 m² Brick Veneer Bulk Insulation R 1.5
85.1 m² PowerPanel to neighbour No Insulation
2.2 m² PowerPanel Bulk Insulation R 0.5

Internal Wall

44.3 m² Cavity Panel 70mm gap No Insulation

External Floor

70.6 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation
11.1 m² Concrete Slab, Unit Below Carpet 10mm No Insulation

External Ceiling

81.7 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

81.7 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings)	heating	39.6 MJ/m ²
	If selected, data specified is the average across the entire development	cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



6.5 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U60_1
Date 28/10/2014
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 6.5 Stars
Conditioned Area 81.67 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 14.8 MJ/m²
Adjusted Heating 25.2 MJ/m²
Adjusted Total 40.1 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 60
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Energy Rating		Certificate Number
☐ single-dwelling rating	5.3 stars	16450037
☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating 39.6 MJ/m ² cooling 18.7 MJ/m ²	
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BD4V/13/1645		
Assessor Signature		Date 7 Sep 2015

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U63 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	70.5 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	70.5 m ²
Total Glazed Area	30.8 m ²
Total External Solid door Area	1.9 m ²
Glass to Floor Area	43.8 %
Gross External Wall Area	108.6 m ²
Net External Wall Area	75.9 m ²

Window

30.8 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

46.2 m² Brick Veneer Bulk Insulation R 1.5
15.1 m² PowerPanel to neighbour No Insulation
14.6 m² PowerPanel Bulk Insulation R 0.5

Internal Wall

60.5 m² Cavity Panel 70mm gap No Insulation

External Floor

8.6 m² Concrete Slab, Unit Below Ceramic Tiles 8mm No Insulation
26.7 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
35.2 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

70.5 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

70.5 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number 16450037
☐ single-dwelling rating		5.3 stars
☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
	cooling	18.7 MJ/m ²
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BDV/13/1645		
Assessor Signature 		Date 7 Sep 2015



NatHERS Certificate

New Dwelling



4.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U63_1
Date 7/09/2015
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 4.0 Stars
Conditioned Area 70.46 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 17.1 MJ/m²
Adjusted Heating 62.0 MJ/m²
Adjusted Total 79.1 MJ/m²

Energy Rating		Certificate Number
☐ single-dwelling rating		5.3 stars
☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
	cooling	18.7 MJ/m ²
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BDV/13/1645		
Assessor Signature		Date 7 Sep 2015

Dwelling Address

DP Number 115903
Unit Number 63
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U66 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	52.4 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	52.4 m ²
Total Glazed Area	16.7 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	31.8 %
Gross External Wall Area	96.1 m ²
Net External Wall Area	77.6 m ²

Window

16.7 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

32.2 m² PowerPanel Bulk Insulation R 1.5
27.0 m² PowerPanel to neighbour No Insulation
18.4 m² Brick Veneer Bulk Insulation R 1.5

Internal Wall

32.9 m² Cavity Panel 70mm gap No Insulation

External Floor

13.6 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
6.1 m² Concrete Slab, Unit Below 40/60 Carpet 10mm/Ceramic No Insulation
9.9 m² Concrete Slab, Unit Below 80/20 Carpet 10mm/Ceramic No Insulation
22.8 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

52.4 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

52.4 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



4.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U66_1
Date 28/10/2014
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 4.0 Stars
Conditioned Area 52.44 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 23.4 MJ/m²
Adjusted Heating 57.4 MJ/m²
Adjusted Total 80.9 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 66
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Energy Rating		Certificate Number
☐ single-dwelling rating	5.3 stars	16450037
☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating 39.6 MJ/m ² cooling 18.7 MJ/m ²	
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BDV/13/1645		
Assessor Signature		Date 7 Sep 2015

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U68 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	64.9 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	64.9 m ²
Total Glazed Area	18.7 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	28.9 %
Gross External Wall Area	101.5 m ²
Net External Wall Area	81.0 m ²

Window

18.7 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

55.8 m² Brick Veneer Bulk Insulation R 1.5
18.2 m² PowerPanel Bulk Insulation R 0.5
7.0 m² PowerPanel to neighbour No Insulation

Internal Wall

52.6 m² Cavity Panel 70mm gap No Insulation

External Floor

5.3 m² Concrete Slab, Unit Below Ceramic Tiles 8mm No Insulation
24.6 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
27.5 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation
7.6 m² Concrete Slab, Unit Below 40/60 Carpet 10mm/Ceramic No Insulation

External Ceiling

16.9 m² Plasterboard No Insulation No roofspace cavity
48.0 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

16.9 m² Concrete Bulk Insulation, No Air Gap Above R 3.0 3° slope Skillion roof
48.0 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

 Energy Rating		Certificate Number 16450037	
☐	single-dwelling rating	5.3	stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating 39.6	MJ/m ²
		cooling 18.7	MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAV/13/1645	
Assessor Signature 		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



4.5 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U68_1
Date 28/10/2014
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 4.5 Stars
Conditioned Area 64.87 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 12.3 MJ/m²
Adjusted Heating 55.9 MJ/m²
Adjusted Total 68.2 MJ/m²

Energy Rating		Certificate Number
☐ single-dwelling rating		16450037
☒ multi-unit development (attach listing of ratings)	heating	5.3 stars
If selected, data specified is the average across the entire development	cooling	39.6 MJ/m ²
		18.7 MJ/m ²
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BDV/13/1645		
Assessor Signature		Date 7 Sep 2015

Dwelling Address

DP Number 115903
Unit Number 68
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U68 Run 2
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	72.8 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	72.8 m ²
Total Glazed Area	23.0 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	31.6 %
Gross External Wall Area	103.7 m ²
Net External Wall Area	78.9 m ²

Window

23.0 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

14.8 m² Brick Veneer Bulk Insulation R 1.5
40.5 m² PowerPanel to neighbour No Insulation
23.6 m² PowerPanel Bulk Insulation R 0.5

Internal Wall

37.8 m² Cavity Panel 70mm gap No Insulation

External Floor

10.8 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
62.0 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

72.8 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

72.8 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



6.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U68_2
Date 7/09/2015
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 6.0 Stars
Conditioned Area 72.80 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 15.7 MJ/m²
Adjusted Heating 29.6 MJ/m²
Adjusted Total 45.3 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 68
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

		Energy Rating		Certificate Number 16450037	
☐	single-dwelling rating			5.3	stars
☒	multi-unit development (attach listing of ratings)			heating	39.6 MJ/m ²
If selected, data specified is the average across the entire development				cooling	18.7 MJ/m ²
Recessed downlights confirmation: ☐ Rated with ☒ Rated without					
Assessor Name/Number Dean Gorman VIC/BDAY/13/1645					
Assessor Signature 				Date 7 Sep 2015	

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U69 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	74.1 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	74.1 m ²
Total Glazed Area	16.8 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	22.7 %
Gross External Wall Area	108.5 m ²
Net External Wall Area	89.9 m ²

Window

16.8 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

48.5 m² Brick Veneer Bulk Insulation R 1.5
14.1 m² PowerPanel Bulk Insulation R 0.5
27.3 m² PowerPanel to neighbour No Insulation

Internal Wall

53.7 m² Cavity Panel 70mm gap No Insulation

External Floor

26.8 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
5.1 m² Concrete Slab, Unit Below Ceramic Tiles 8mm No Insulation
42.2 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

74.1 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

74.1 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



5.5 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U69_1
Date 28/10/2014
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 5.5 Stars
Conditioned Area 74.06 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 10.9 MJ/m²
Adjusted Heating 41.4 MJ/m²
Adjusted Total 52.4 MJ/m²

Energy Rating		Certificate Number
☐ single-dwelling rating		16450037
☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating 5.3 stars cooling 39.6 MJ/m ² 18.7 MJ/m ²	
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BD4V/13/1645		
Assessor Signature		Date 7 Sep 2015

Dwelling Address

DP Number 115903
Unit Number 69
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U69 Run 2
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	72.8 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	72.8 m ²
Total Glazed Area	24.1 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	33.1 %
Gross External Wall Area	103.7 m ²
Net External Wall Area	77.7 m ²

Window

24.1 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

13.7 m² Brick Veneer Bulk Insulation R 1.5
40.5 m² PowerPanel to neighbour No Insulation
23.6 m² PowerPanel Bulk Insulation R 0.5

Internal Wall

37.8 m² Cavity Panel 70mm gap No Insulation

External Floor

10.8 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
62.0 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

72.8 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

72.8 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate New Dwelling



6.5 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U69_2
Date 7/09/2015
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 6.5 Stars
Conditioned Area 72.80 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 14.2 MJ/m²
Adjusted Heating 26.9 MJ/m²
Adjusted Total 41.1 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 69
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

		Energy Rating		Certificate Number 16450037
☐	single-dwelling rating		5.3	stars
☒	multi-unit development (attach listing of ratings)	heating	39.6	MJ/m ²
If selected, data specified is the average across the entire development		cooling	18.7	MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without	
Assessor Name/Number		Dean Gorman VIC/BDAA/13/1645		
Assessor Signature		Date 7 Sep 2015		

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U72 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	51.1 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	51.1 m ²
Total Glazed Area	21.1 m ²
Total External Solid door Area	1.7 m ²
Glass to Floor Area	41.4 %
Gross External Wall Area	88.5 m ²
Net External Wall Area	65.6 m ²

Window

21.1 m² GGG-05-013a Generics Uval 4.70 SHGC 0.63
Glass Single Glazed Low E Clear
Frame Aluminium

External Wall

37.2 m² PowerPanel Bulk Insulation R 1.5
23.1 m² Brick Veneer Bulk Insulation R 1.5
5.3 m² PowerPanel to neighbour No Insulation

Internal Wall

23.8 m² Cavity Panel 70mm gap No Insulation

External Floor

4.9 m² Concrete Slab, Unit Below Ceramic Tiles 8mm No Insulation
11.2 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
35.1 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

51.1 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

51.1 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings)	heating	39.6 MJ/m ²
	If selected, data specified is the average across the entire development	cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



4.5 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U72_1
Date 7/09/2015
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 4.5 Stars
Conditioned Area 51.10 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 12.6 MJ/m²
Adjusted Heating 55.9 MJ/m²
Adjusted Total 68.5 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 72
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

 Energy Rating		Certificate Number 16450037
☐ single-dwelling rating		5.3 stars
☒ multi-unit development (attach listing of ratings)	heating	39.6 MJ/m ²
If selected, data specified is the average across the entire development	cooling	18.7 MJ/m ²
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BD4V/13/1645		
Assessor Signature 		Date 7 Sep 2015

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U73 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	44.5 m ²
Unconditioned Area	4.6 m ²
Total Floor Area	49.1 m ²
Total Glazed Area	23.8 m ²
Total External Solid door Area	1.7 m ²
Glass to Floor Area	48.4 %
Gross External Wall Area	94.6 m ²
Net External Wall Area	69.2 m ²

Window

23.8 m² GGG-05-013a Generics Uval 4.70 SHGC 0.63
Glass Single Glazed Low E Clear
Frame Aluminium

External Wall

40.3 m² PowerPanel Bulk Insulation R 0.5
23.6 m² Brick Veneer Bulk Insulation R 1.5
5.3 m² PowerPanel to neighbour No Insulation

Internal Wall

19.0 m² Cavity Panel 70mm gap No Insulation

External Floor

14.7 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
4.6 m² Concrete Slab, Unit Below Ceramic Tiles 8mm No Insulation
29.8 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

49.1 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

49.1 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAY/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



4.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U73_1
Date 7/09/2015
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 4.0 Stars
Conditioned Area 44.52 m²
Unconditioned Area 4.56 m²
Adjusted Cooling 15.4 MJ/m²
Adjusted Heating 63.7 MJ/m²
Adjusted Total 79.1 MJ/m²

 Energy Rating		Certificate Number 16450037
☐ single-dwelling rating		5.3 stars
☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
	cooling	18.7 MJ/m ²
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BDV/13/1645		
Assessor Signature 		Date 7 Sep 2015

Dwelling Address

DP Number 115903
Unit Number 73
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U74 Run 2
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	65.9 m ²
Unconditioned Area	5.2 m ²
Total Floor Area	71.1 m ²
Total Glazed Area	17.3 m ²
Total External Solid door Area	1.7 m ²
Glass to Floor Area	24.3 %
Gross External Wall Area	118.2 m ²
Net External Wall Area	99.2 m ²

Window

17.3 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

66.8 m² Brick Veneer Bulk Insulation R 1.5
25.8 m² PowerPanel to neighbour No Insulation
6.7 m² PowerPanel Bulk Insulation R 0.5

Internal Wall

45.1 m² Cavity Panel 70mm gap No Insulation

External Floor

51.1 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation
14.8 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
5.2 m² Concrete Slab, Unit Below Ceramic Tiles 8mm No Insulation

External Ceiling

71.1 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

71.1 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



6.5 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U74_2
Date 7/09/2015
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 6.5 Stars
Conditioned Area 65.90 m²
Unconditioned Area 5.22 m²
Adjusted Cooling 13.6 MJ/m²
Adjusted Heating 26.0 MJ/m²
Adjusted Total 39.6 MJ/m²

Energy Rating		Certificate Number
☐ single-dwelling rating		5.3 stars
☒ multi-unit development (attach listing of ratings)	heating	39.6 MJ/m ²
If selected, data specified is the average across the entire development	cooling	18.7 MJ/m ²
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BDAY/13/1645		
Assessor Signature		Date 7 Sep 2015

Dwelling Address

DP Number 115903
Unit Number 74
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U75 Run 2
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	69.0 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	69.0 m ²
Total Glazed Area	22.4 m ²
Total External Solid door Area	1.9 m ²
Glass to Floor Area	32.4 %
Gross External Wall Area	109.2 m ²
Net External Wall Area	84.9 m ²

Window

22.4 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

30.5 m² Brick Veneer Bulk Insulation R 1.5
37.5 m² PowerPanel to neighbour No Insulation
16.9 m² PowerPanel Bulk Insulation R 0.5

Internal Wall

52.6 m² Cavity Panel 70mm gap No Insulation

External Floor

24.6 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
6.2 m² Concrete Slab, Unit Below Ceramic Tiles 8mm No Insulation
7.9 m² Concrete Slab, Unit Below 80/20 Carpet 10mm/Ceramic No Insulation
30.3 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

69.0 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

69.0 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate New Dwelling



5.5 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U75_2
Date 7/09/2015
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 5.5 Stars
Conditioned Area 69.01 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 15.2 MJ/m²
Adjusted Heating 40.0 MJ/m²
Adjusted Total 55.3 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 75
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

		Energy Rating		Certificate Number 16450037	
☐	single-dwelling rating			5.3	stars
☒	multi-unit development (attach listing of ratings)			heating	39.6 MJ/m ²
If selected, data specified is the average across the entire development				cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐	Rated with	☒	Rated without
Assessor Name/Number		Dean Gorman VIC/BDV/13/1645			
Assessor Signature				Date 7 Sep 2015	

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U79 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	65.9 m ²
Unconditioned Area	5.2 m ²
Total Floor Area	71.1 m ²
Total Glazed Area	17.3 m ²
Total External Solid door Area	1.7 m ²
Glass to Floor Area	24.3 %
Gross External Wall Area	118.2 m ²
Net External Wall Area	99.2 m ²

Window

17.3 m² GGC-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

66.8 m² Brick Veneer Bulk Insulation R 1.5
25.8 m² PowerPanel to neighbour No Insulation
6.7 m² PowerPanel Bulk Insulation R 0.5

Internal Wall

45.1 m² Cavity Panel 70mm gap No Insulation

External Floor

51.1 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation
14.8 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
5.2 m² Concrete Slab, Unit Below Ceramic Tiles 8mm No Insulation

External Ceiling

71.1 m² Concrete, Plasterboard No Insulation Apartment above

Roof (Horizontal area)

71.1 m² Concrete No Insulation, Only an Air Gap 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



7.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U79_1
Date 7/09/2015
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 7.0 Stars
Conditioned Area 65.90 m²
Unconditioned Area 5.22 m²
Adjusted Cooling 13.9 MJ/m²
Adjusted Heating 22.2 MJ/m²
Adjusted Total 36.1 MJ/m²

Energy Rating		Certificate Number
☐	single-dwelling rating	5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating 39.6 MJ/m ² cooling 18.7 MJ/m ²
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BDV/13/1645		
Assessor Signature		Date 7 Sep 2015

Dwelling Address

DP Number 115903
Unit Number 79
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U82 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	74.1 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	74.1 m ²
Total Glazed Area	16.8 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	22.7 %
Gross External Wall Area	108.5 m ²
Net External Wall Area	89.9 m ²

Window

16.8 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

48.5 m² Brick Veneer Bulk Insulation R 1.5
14.1 m² PowerPanel Bulk Insulation R 0.5
27.3 m² PowerPanel to neighbour No Insulation

Internal Wall

53.7 m² Cavity Panel 70mm gap No Insulation

External Floor

26.8 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
5.1 m² Concrete Slab, Unit Below Ceramic Tiles 8mm No Insulation
42.2 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

74.1 m² Plasterboard No Insulation No roofspace cavity

Roof (Horizontal area)

74.1 m² Concrete Bulk Insulation, No Air Gap Above R 3.0 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings)	heating	39.6 MJ/m ²
	If selected, data specified is the average across the entire development	cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAY/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



5.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U82_1
Date 7/09/2015
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 5.0 Stars
Conditioned Area 74.06 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 15.9 MJ/m²
Adjusted Heating 43.1 MJ/m²
Adjusted Total 59.0 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 82
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

		Energy Rating		Certificate Number 16450037
☐	single-dwelling rating		5.3 stars	
☒	multi-unit development (attach listing of ratings)	heating	39.6 MJ/m ²	
	If selected, data specified is the average across the entire development	cooling	18.7 MJ/m ²	
Recessed downlights confirmation: ☐ Rated with ☒ Rated without				
Assessor Name/Number <u>Dean Gorman</u> VIC/BDAY/13/1645				
Assessor Signature 				Date 7 Sep 2015

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U83 Run 2
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	72.8 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	72.8 m ²
Total Glazed Area	17.7 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	24.3 %
Gross External Wall Area	103.7 m ²
Net External Wall Area	84.2 m ²

Window

17.7 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

20.1 m² Brick Veneer Bulk Insulation R 1.5
40.5 m² PowerPanel to neighbour No Insulation
23.6 m² PowerPanel Bulk Insulation R 0.5

Internal Wall

37.8 m² Cavity Panel 70mm gap No Insulation

External Floor

10.8 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
62.0 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

72.8 m² Plasterboard No Insulation No roofspace cavity

Roof (Horizontal area)

72.8 m² Concrete Bulk Insulation, No Air Gap Above R 3.0 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



6.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U83_2
Date 7/09/2015
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 6.0 Stars
Conditioned Area 72.80 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 14.4 MJ/m²
Adjusted Heating 33.6 MJ/m²
Adjusted Total 48.1 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 83
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Energy Rating		Certificate Number	16450037
☐	single-dwelling rating	5.3	stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDV/13/1645	
Assessor Signature		Date 7 Sep 2015	

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U84 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	86.5 m ²
Unconditioned Area	5.6 m ²
Total Floor Area	92.1 m ²
Total Glazed Area	30.6 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	33.2 %
Gross External Wall Area	158.8 m ²
Net External Wall Area	126.3 m ²

Window

27.9 m ²	GGG-05-013a	Generics	Uval 4.70	SHGC 0.63
	Glass	Single Glazed	Low E	Clear
	Frame	Aluminium		
2.7 m ²	GGG-05-001a	Generics	Uval 6.57	SHGC 0.74
	Glass	Single Glazed	Clear	
	Frame	Aluminium		

External Wall

53.4 m ²	Brick Veneer	Bulk Insulation	R 1.5
53.0 m ²	PowerPanel	Bulk Insulation	R 0.5
20.0 m ²	PowerPanel to neighbour	No Insulation	

Internal Wall

63.7 m ²	Cavity Panel	70mm gap	No Insulation
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External Floor

10.7 m ²	Concrete Slab, Unit Below	Ceramic Tiles 8mm	No Insulation
28.0 m ²	Concrete Slab, Unit Below	Carpet 10mm	No Insulation
53.4 m ²	Concrete Slab, Unit Below	60/40 Carpet 10mm/Ceramic	No Insulation

External Ceiling

92.1 m ²	Concrete, Plasterboard	No Insulation	Apartment above
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Roof (Horizontal area)

92.1 m ²	Concrete	No Insulation, Only an Air Gap	3° slope	Skillion roof
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	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



4.5 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U84_1
Date 28/10/2014
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 4.5 Stars
Conditioned Area 86.51 m²
Unconditioned Area 5.60 m²
Adjusted Cooling 11.4 MJ/m²
Adjusted Heating 63.2 MJ/m²
Adjusted Total 74.6 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 84
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Energy Rating		Certificate Number
☐ single-dwelling rating	5.3 stars	16450037
☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating 39.6 MJ/m ²	
	cooling 18.7 MJ/m ²	
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BDAY/13/1645		
Assessor Signature		Date 7 Sep 2015

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U85 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	86.5 m ²
Unconditioned Area	5.6 m ²
Total Floor Area	92.1 m ²
Total Glazed Area	30.6 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	33.2 %
Gross External Wall Area	158.8 m ²
Net External Wall Area	126.3 m ²

Window

27.9 m ²	GGG-05-013a	Generics	Uval 4.70	SHGC 0.63
	Glass	Single Glazed	Low E	Clear
	Frame	Aluminium		
2.7 m ²	GGG-05-001a	Generics	Uval 6.57	SHGC 0.74
	Glass	Single Glazed	Clear	
	Frame	Aluminium		

External Wall

53.4 m ²	Brick Veneer	Bulk Insulation R 1.5
53.0 m ²	PowerPanel	Bulk Insulation R 1.5
20.0 m ²	PowerPanel to neighbour	No Insulation

Internal Wall

63.7 m ²	Cavity Panel 70mm gap	No Insulation
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External Floor

10.7 m ²	Concrete Slab, Unit Below	Ceramic Tiles 8mm	No Insulation
28.0 m ²	Concrete Slab, Unit Below	Carpet 10mm	No Insulation
53.4 m ²	Concrete Slab, Unit Below	60/40 Carpet 10mm/Ceramic	No Insulation

External Ceiling

92.1 m ²	Concrete, Plasterboard	No Insulation	Apartment above
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Roof (Horizontal area)

92.1 m ²	Concrete	No Insulation, Only an Air Gap	3° slope	Skillion roof
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	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings)	heating	39.6 MJ/m ²
	If selected, data specified is the average across the entire development	cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



4.5 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U85_1
Date 28/10/2014
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 4.5 Stars
Conditioned Area 86.51 m²
Unconditioned Area 5.60 m²
Adjusted Cooling 10.9 MJ/m²
Adjusted Heating 56.1 MJ/m²
Adjusted Total 67.0 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 85
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Energy Rating		Certificate Number
☐ single-dwelling rating	5.3 stars	16450037
☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating 39.6 MJ/m ² cooling 18.7 MJ/m ²	
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BDAV/13/1645		
Assessor Signature		Date 7 Sep 2015

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U87 Run 2
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	51.1 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	51.1 m ²
Total Glazed Area	21.1 m ²
Total External Solid door Area	1.7 m ²
Glass to Floor Area	41.4 %
Gross External Wall Area	88.5 m ²
Net External Wall Area	65.6 m ²

Window

21.1 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

37.2 m² PowerPanel Bulk Insulation R 1.5
23.1 m² Brick Veneer Bulk Insulation R 1.5
5.3 m² PowerPanel to neighbour No Insulation

Internal Wall

23.8 m² Cavity Panel 70mm gap No Insulation

External Floor

4.9 m² Concrete Slab, Unit Below Ceramic Tiles 8mm No Insulation
11.2 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
35.1 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

51.1 m² Plasterboard No Insulation No roofspace cavity

Roof (Horizontal area)

51.1 m² Concrete Bulk Insulation, No Air Gap Above R 3.0 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) if selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



3.5 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U87_2
Date 7/09/2015
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 3.5 Stars
Conditioned Area 51.10 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 30.9 MJ/m²
Adjusted Heating 62.3 MJ/m²
Adjusted Total 93.2 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 87
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

		Energy Rating		Certificate Number 16450037	
☐	single-dwelling rating			5.3	stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6	MJ/m ²	
		cooling	18.7	MJ/m ²	
Recessed downlights confirmation: ☐ Rated with ☒ Rated without					
Assessor Name/Number Dean Gorman VIC/BDAV/13/1645					
Assessor Signature 				Date 7 Sep 2015	

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U88 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	44.5 m ²
Unconditioned Area	4.6 m ²
Total Floor Area	49.1 m ²
Total Glazed Area	23.8 m ²
Total External Solid door Area	1.7 m ²
Glass to Floor Area	48.4 %
Gross External Wall Area	94.6 m ²
Net External Wall Area	69.2 m ²

Window

23.8 m² GGG-05-013a Generics Uval 4.70 SHGC 0.63
Glass Single Glazed Low E Clear
Frame Aluminium

External Wall

40.3 m² PowerPanel Bulk Insulation R 0.5
23.6 m² Brick Veneer Bulk Insulation R 1.5
5.3 m² PowerPanel to neighbour No Insulation

Internal Wall

19.0 m² Cavity Panel 70mm gap No Insulation

External Floor

14.7 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
4.6 m² Concrete Slab, Unit Below Ceramic Tiles 8mm No Insulation
29.8 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

49.1 m² Plasterboard No Insulation No roofspace cavity

Roof (Horizontal area)

49.1 m² Concrete Bulk Insulation, No Air Gap Above R 3.0 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



4.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U88_1
Date 7/09/2015
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 4.0 Stars
Conditioned Area 44.52 m²
Unconditioned Area 4.56 m²
Adjusted Cooling 23.7 MJ/m²
Adjusted Heating 59.9 MJ/m²
Adjusted Total 83.6 MJ/m²

Energy Rating		Certificate Number
☐ single-dwelling rating		16450037
☒ multi-unit development (attach listing of ratings)		
If selected, data specified is the average across the entire development		
	heating	5.3 stars
	cooling	39.6 MJ/m ²
		18.7 MJ/m ²
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BDAY/13/1645		
Assessor Signature		Date 7 Sep 2015

Dwelling Address

DP Number 115903
Unit Number 88
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U89 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	65.9 m ²
Unconditioned Area	5.2 m ²
Total Floor Area	71.1 m ²
Total Glazed Area	17.3 m ²
Total External Solid door Area	1.7 m ²
Glass to Floor Area	24.3 %
Gross External Wall Area	118.2 m ²
Net External Wall Area	99.2 m ²

Window

17.3 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

66.8 m² Brick Veneer Bulk Insulation R 1.5
25.8 m² PowerPanel to neighbour No Insulation
6.7 m² PowerPanel Bulk Insulation R 0.5

Internal Wall

45.1 m² Cavity Panel 70mm gap No Insulation

External Floor

51.1 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation
14.8 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
5.2 m² Concrete Slab, Unit Below Ceramic Tiles 8mm No Insulation

External Ceiling

71.1 m² Plasterboard No Insulation No roofspace cavity

Roof (Horizontal area)

71.1 m² Concrete Bulk Insulation, No Air Gap Above R 3.0 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



6.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U89_1
Date 7/09/2015
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 6.0 Stars
Conditioned Area 65.90 m²
Unconditioned Area 5.22 m²
Adjusted Cooling 14.1 MJ/m²
Adjusted Heating 34.4 MJ/m²
Adjusted Total 48.5 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 89
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Energy Rating		Certificate Number
☐ single-dwelling rating	5.3 stars	16450037
☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating 39.6 MJ/m ² cooling 18.7 MJ/m ²	
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BDAY/13/1645		
Assessor Signature		Date 7 Sep 2015

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U90 Run 1
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	69.0 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	69.0 m ²
Total Glazed Area	22.4 m ²
Total External Solid door Area	1.9 m ²
Glass to Floor Area	32.4 %
Gross External Wall Area	109.2 m ²
Net External Wall Area	84.9 m ²

Window
22.4 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall
30.5 m² Brick Veneer Bulk Insulation R 1.5
37.5 m² PowerPanel to neighbour No Insulation
16.9 m² PowerPanel Bulk Insulation R 0.5

Internal Wall
52.6 m² Cavity Panel 70mm gap No Insulation

External Floor
24.6 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
6.2 m² Concrete Slab, Unit Below Ceramic Tiles 8mm No Insulation
7.9 m² Concrete Slab, Unit Below 80/20 Carpet 10mm/Ceramic No Insulation
30.3 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling
69.0 m² Plasterboard No Insulation No roofspace cavity

Roof (Horizontal area)
69.0 m² Concrete Bulk Insulation, No Air Gap Above R 3.0 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



4.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U90_1
Date 7/09/2015
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 4.0 Stars
Conditioned Area 69.01 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 22.6 MJ/m²
Adjusted Heating 52.8 MJ/m²
Adjusted Total 75.4 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 90
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Energy Rating		Certificate Number	16450037
☐	single-dwelling rating	5.3	stars
☒	multi-unit development (attach listing of ratings)	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
If selected, data specified is the average across the entire development			
Recessed downlights confirmation: ☐ Rated with ☒ Rated without			
Assessor Name/Number Dean Gorman VIC/BD4V/13/1645			
Assessor Signature		Date 7 Sep 2015	

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U91 Run 2
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	81.7 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	81.7 m ²
Total Glazed Area	15.4 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	18.8 %
Gross External Wall Area	118.3 m ²
Net External Wall Area	101.1 m ²

Window

15.4 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

13.8 m² Brick Veneer Bulk Insulation R 1.5
85.1 m² PowerPanel to neighbour No Insulation
2.2 m² PowerPanel Bulk Insulation R 0.5

Internal Wall

44.3 m² Cavity Panel 70mm gap No Insulation

External Floor

70.6 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation
11.1 m² Concrete Slab, Unit Below Carpet 10mm No Insulation

External Ceiling

81.7 m² Plasterboard No Insulation No roofspace cavity

Roof (Horizontal area)

81.7 m² Concrete Bulk Insulation, No Air Gap Above R 3.0 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAY/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



6.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U91_2
Date 7/09/2015
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 6.0 Stars
Conditioned Area 81.67 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 21.1 MJ/m²
Adjusted Heating 29.8 MJ/m²
Adjusted Total 50.9 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 91
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Energy Rating		Certificate Number	16450037
☐	single-dwelling rating	5.3	stars
☒	multi-unit development (attach listing of ratings)	heating	39.6 MJ/m ²
If selected, data specified is the average across the entire development		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDV/13/1645	
Assessor Signature		Date 7 Sep 2015	

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U92 Run 2
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	98.0 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	98.0 m ²
Total Glazed Area	25.6 m ²
Total External Solid door Area	1.7 m ²
Glass to Floor Area	26.1 %
Gross External Wall Area	137.8 m ²
Net External Wall Area	110.4 m ²

Window

25.6 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

24.8 m² Brick Veneer Bulk Insulation R 1.5
62.7 m² PowerPanel to neighbour No Insulation
22.9 m² PowerPanel Bulk Insulation R 0.5

Internal Wall

77.8 m² Cavity Panel 70mm gap No Insulation

External Floor

26.4 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
34.9 m² Concrete Slab, Unit Below 80/20 Carpet 10mm/Ceramic No Insulation
6.8 m² Concrete Slab, Unit Below Ceramic Tiles 8mm No Insulation
30.0 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

98.0 m² Plasterboard No Insulation No roofspace cavity

Roof (Horizontal area)

98.0 m² Concrete Bulk Insulation, No Air Gap Above R 3.0 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDAV/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



4.5 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U92_2
Date 7/09/2015
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 4.5 Stars
Conditioned Area 98.00 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 23.4 MJ/m²
Adjusted Heating 46.1 MJ/m²
Adjusted Total 69.4 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 92
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Energy Rating		Certificate Number
☐ single-dwelling rating	5.3 stars	16450037
☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating 39.6 MJ/m ² cooling 18.7 MJ/m ²	
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BDAY/13/1645		
Assessor Signature		Date 7 Sep 2015

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U94 Run 2
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	100.6 m ²
Unconditioned Area	0.0 m ²
Total Floor Area	100.6 m ²
Total Glazed Area	34.4 m ²
Total External Solid door Area	1.7 m ²
Glass to Floor Area	34.2 %
Gross External Wall Area	174.7 m ²
Net External Wall Area	138.6 m ²

Window

34.4 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
Glass Single Glazed Clear
Frame Aluminium

External Wall

101.1 m² Brick Veneer Bulk Insulation R 1.5
19.6 m² PowerPanel Bulk Insulation R 0.5
17.9 m² PowerPanel to neighbour No Insulation

Internal Wall

75.6 m² Cavity Panel 70mm gap No Insulation

External Floor

51.7 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
10.9 m² Concrete Slab, Unit Below Ceramic Tiles 8mm No Insulation
38.0 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

100.6 m² Plasterboard No Insulation No roofspace cavity

Roof (Horizontal area)

100.6 m² Concrete Bulk Insulation, No Air Gap Above R 3.0 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BD4V/13/1645	
Assessor Signature		Date 7 Sep 2015	



NatHERS Certificate

New Dwelling



5.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U94_2
Date 7/09/2015
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 5.0 Stars
Conditioned Area 100.64 m²
Unconditioned Area 0.00 m²
Adjusted Cooling 14.5 MJ/m²
Adjusted Heating 44.0 MJ/m²
Adjusted Total 58.5 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 94
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Energy Rating		Certificate Number
☐ single-dwelling rating	5.3 stars	16450037
☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating 39.6 MJ/m ² cooling 18.7 MJ/m ²	
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BD4V/13/1645		
Assessor Signature		Date 7 Sep 2015

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 140811 U95 Run 2
CANTERBURY PC 2193 Lat -33.90 Long 151.10 Climate File climat56.TXT

Summary

Conditioned Area	86.5 m ²
Unconditioned Area	5.6 m ²
Total Floor Area	92.1 m ²
Total Glazed Area	30.6 m ²
Total External Solid door Area	1.8 m ²
Glass to Floor Area	33.2 %
Gross External Wall Area	158.8 m ²
Net External Wall Area	126.3 m ²

Window

30.6 m² GGG-05-013a Generics Uval 4.70 SHGC 0.63
Glass Single Glazed Low E Clear
Frame Aluminium

External Wall

53.4 m² Brick Veneer Bulk Insulation R 1.5
53.0 m² PowerPanel Bulk Insulation R 1.5
20.0 m² PowerPanel to neighbour No Insulation

Internal Wall

63.7 m² Cavity Panel 70mm gap No Insulation

External Floor

10.7 m² Concrete Slab, Unit Below Ceramic Tiles 8mm No Insulation
28.0 m² Concrete Slab, Unit Below Carpet 10mm No Insulation
53.4 m² Concrete Slab, Unit Below 60/40 Carpet 10mm/Ceramic No Insulation

External Ceiling

92.1 m² Plasterboard No Insulation No roofspace cavity

Roof (Horizontal area)

92.1 m² Concrete Bulk Insulation, No Air Gap Above R 3.0 3° slope Skillion roof

	Energy Rating	Certificate Number	16450037
☐	single-dwelling rating		5.3 stars
☒	multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating	39.6 MJ/m ²
		cooling	18.7 MJ/m ²
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Dean Gorman VIC/BDV/13/1645	
Assessor Signature			Date 7 Sep 2015



NatHERS Certificate

New Dwelling



4.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 140811 U95_2
Date 7/09/2015
Location CANTERBURY PC 2193
Climate file climat56.TXT
Adjusted Star Rating 4.0 Stars
Conditioned Area 86.51 m²
Unconditioned Area 5.60 m²
Adjusted Cooling 19.7 MJ/m²
Adjusted Heating 63.8 MJ/m²
Adjusted Total 83.5 MJ/m²

Dwelling Address

DP Number 115903
Unit Number 95
Lot Number 1
House Number 364-374
Street Name Canterbury Rd
Development Name
Suburb Canterbury NSW 2194

Client Details

Name Mackenzie Architects International
Phone 9967 9966 Fax
Email felipe@maininternational.com.au
Postal Address 4/3 The Postern Castlecrag NSW 2068
Street Details

Assessor Details

Name Dean Gorman
Phone 9575 7043 Fax
Email dean@greenview.net.au
Postal Address 35 Riverview Rd Oyster Bay
Street Details 35 Riverview Rd Oyster Bay

Energy Rating		Certificate Number
☐ single-dwelling rating	5.3 stars	16450037
☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development	heating 39.6 MJ/m ² cooling 18.7 MJ/m ²	
Recessed downlights confirmation: ☐ Rated with ☒ Rated without		
Assessor Name/Number Dean Gorman VIC/BDV/13/1645		
Assessor Signature		Date 7 Sep 2015

Signed by the Assessor.....Date...../...../.....

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